

PRINCE EDWARD COUNTY
PLANNING COMMISSION
November 21, 2023

AGENDA

The Prince Edward County Planning Commission strongly encourages citizens to participate in public meetings through in-person participation, written comments and/or remote participation by calling: **1-844-890-7777, Access Code: 390313** (*If busy, please call again.*) Additionally, citizens may view the Planning Commission meeting live in its entirety at the County's YouTube Channel, the link to which is provided on the County's website.

Public Hearing comments for Planning Commission meetings are subject to the "Citizen Guide for Providing Input During Public Participation and Public Hearings for Prince Edward County Government Meetings" revised October 12, 2022.

- 7:00 p.m.
1. Call to Order: John Prengaman, Chairman
 2. Quorum
 3. Pledge of Allegiance
 4. Approve Minutes 3
 5. **Public Hearing** – Paladin Medical Transport, Inc. - Rezoning: A2 to C1 11
 6. **Public Hearing** – Milestone Tower Limited Partnership-IV d/b/a Milestone Towers – SUP 23
 7. Review of Supervisors Actions
 8. Old Business
 9. New Business
 10. Adjournment

Next Meeting: Tuesday, December 19, 2023 at 7:00 p.m.

[This page intentionally left blank]



**Planning Commission
Agenda Summary**

Meeting Date: November 21, 2023
Item No.: 4
Department: Planning and Community Development
Staff Contact: Robert Love
Issue: Approval of Minutes

Summary:
For approval.

Attachments:

Draft Planning Commission meeting minutes

Motion _____
Second _____
Fuller _____

Gilliam _____
Leatherwood _____

Paige _____
Peery _____
Pregaman _____

Sandlin _____
Weiss _____
Womack _____

in the Wednesday, August 2, 2023 and Wednesday, August 9, 2023 editions of THE FARMVILLE HERALD, a newspaper published in the County of Prince Edward.

Mr. Robert Love said the County has received an application request by C-Store Developer LLC for a Special Use permit to construct and operate a car wash on a parcel of land denoted as Tax Map Parcels 051-A-33 & 051-10-2D, located on the west side of Farmville Road (State Route 15), at its intersection with Commerce Road (State Route 628). This parcel is in the Commercial zoning district and requires a Special Use Permit to locate and operate a car wash. He said there have been no comments in support or in opposition to this application.

This development site is within the Highway Corridor Overlay District with specific design standards requiring the provision of shared entrances with an inter-parcel connection, upgraded architectural details visible from the public right-of-way, landscaped parking islands, full cutoff fixture site lighting, and monument signage not exceeding 30 square feet on each face. The dumpsters will be fully screened.

County staff is of the opinion the use is generally compatible with the zoning district and will have minimal impacts on surrounding properties as far as traffic and noise. He stated VDOT did a TIA for the Wawa, which is included, as the car wash is in this same lot. Both sites are being reviewed by VDOT, and it is a shared entrance.

Mr. Love stated he provided potential conditions for consideration by the Planning Commission, but did not place hours of operation in the conditions.

Commissioner Weiss questioned the flow of traffic and asked how that would work with the shared entrance on Farmville Road. Mr. Love explained that the entrance from Commerce Road will get people onto the property, and exit is by right-turn only. He said people can exit via Dominion Drive.

Commissioner Weiss asked for clarification regarding cars entering the car wash; the applicants showed the intended flow of traffic for entering the car wash on a preliminary site plan.

Ryan Yauger, PE, Bohler Engineering VA, LLC, stated the stacking is shown for eight vehicles, this stacking opportunity is also available within the Wawa parking lot. He humbly requested the special use permit for a car wash use; the site plans come after approval, to show the layout and landscaping.

Mr. Marc Greenburg said specific hours are not yet set but it is not a 24-hour operation. He said the car wash will have its own employees, separate from Wawa, and Wawa does not oversee the car wash.

Commissioner Peery asked if the car wash will recycle any of the water; the applicant said it will recycle all water.

Commissioner Fuller questioned the number of staff. Mr. Greenburg said currently there is no specific user yet but the information on the application is regarding the user they expect will be there; there will be three on staff. He said the car wash is one tunnel, and there will be multiple vacuum stations.

Commissioner Fuller said that in his experience, car wash locations start nice but over time, fall off in their upkeep. Mr. Love said there is language in the Highway Corridor Overlay District, so if anyone, not just this applicant, would protect the County. He said letters could be sent to take care of any tenant of any Highway Corridor Overlay that is permitted.

Commissioner Womack asked what the employees will do. Mr. Greenburg stated employees will take payment, clip the rear window wiper, and ensure car wash users are lined up correctly to drive into the tunnel. They will also provide maintenance and upkeep of the site.

Chairman Prengaman opened the public hearing.

There being no one wishing to speak, Chairman Prengaman closed the public hearing.

Commissioner Womack made a motion, seconded by Commissioner Peery, to recommend to the Board of Supervisors approval of the Special Use Permit request by C-Store Developer LLC to construct and operate a car wash with conditions as presented; the motion carried:

Aye: Brad Fuller
Llew W. Gilliam, Jr.
Clifford Jack Leatherwood
Whitfield M. Paige
John "Jack" W. Peery, Jr.
John Prengaman
Rhett Weiss
Henry Womack
Absent: Teresa Sandlin
Nay: (None)

Special Use Permit - C-Store Developer, LLC
Tax Parcel Map#: 051-A-33 & 051-10-2D
POTENTIAL CONDITIONS

SITE PLAN

1. Development activities on the site shall be limited to those as specified in the Special Use Permit Application and Site Plan. The final locations of incidental facilities may be adjusted provided no such adjustment violates any buffers, setbacks, or other statutory requirement. The concepts reflected in the filed special use permit dated 07/24/2023 are hereby made part of these development conditions.
2. Final site plan approval for the car wash shall be submitted to the Prince Edward County Community Development Department for final review and approval pursuant to Appendix B of the Prince Edward County Code (Zoning Ordinance).
3. Any proposed expansion of the operation, change of activities or additional facilities or activities shall be submitted to the Prince Edward County Planning and Community Development office for review prior to implementation. Any changes may be subject to Permit amendment procedures, including Public Hearings.
4. All buildings within the property shall be developed pursuant to Section 2-1300, Highway Corridor Overlay District, as a cohesive entity ensuring that building placement, architectural treatment, parking lot lighting, landscaping, trash disposal, vehicular and pedestrian circulation and other development elements work together functionally and aesthetically.
5. All landscaping shall be mulched and maintained to the reasonable satisfaction of the Prince Edward County Director of Planning and Community Development. Any vegetation found to be of poor condition shall be replaced and/or improved at the reasonable direction of the Director of Planning and Community Development or his designee.

ENVIRONMENTAL

6. All pollution control measures, erosion and sediment control measures, storm water control facilities, and all construction activities shall comply with the requirements of the appropriate federal, state, and local regulations and ordinances.

7. All facilities for the provision of potable water and sanitation and wastewater disposal systems shall be approved by the appropriate local, state, or federal agency including but not limited to Virginia Department of Health, Virginia Departments of Environmental Quality, Environmental Protection Agency, etc.
8. Any development activities of a structural or land disturbing nature not specifically addressed by these Conditions shall be in conformance with applicable provisions of federal, state, and local statutes and regulations.

TRANSPORTATION

9. All entrance permits must be authorized by the Virginia Department of Transportation.
10. All internal roads used for public access shall be of compacted earth or have a minimum of a four (4) inch stone base and shall be paved with concrete, asphalt, or durable pervious paving material.
11. Adequate area shall be provided on site to accommodate parking of all employees and patrons. It shall be the responsibility of the Permittee to assure that employees and patrons park only on site and not on any highway right-of-way, or on adjoining or adjacent parcels unless written consent is provided by the owner or owners thereof.

GENERAL

12. All exterior lighting shall be designed and installed so as to minimize glare onto adjoining properties or any public access road. All lighting shall be full cut-off type fixtures.
13. Outdoor storage of trash containers shall be appropriately screened in materials matching the building facade.
14. The Permittee is responsible for the appearance of the site including litter pick-up and other orderly site appearance.
15. This Permit is non-transferable, except and unless written notice from the Permittee regarding the transfer, and a signed document from the proposed new Permittee is received by the Planning and Community Development Office which states that the new Permittee agrees to comply with all terms and Conditions imposed with the original Permit Issuance. If the proposed new Permittee desires to amend the original Permit Conditions, amendments must be addressed by the Prince Edward County Planning Commission and Board of Supervisors through the Special Use Permit process.
16. Failure of Permittee to full conform to all terms and conditions may result in revocation of this Special Use Permit if said failure or failures are not corrected or addressed to the satisfaction, not to be unreasonably withheld, of the County within thirty (30) days of written notice from the County.

In Re: Review of Supervisors Actions

Mr. Love reported that at the last Board meeting, the Board approved the Zoning Ordinance amendments, Option 4 with the recommended cemetery exemption, by a 6-2 vote. He said the total site allowance is a combination of up to three flags are permitted, per parcel with a total size of 120 square feet.

Old Business

Mr. Love reported several projects are seeing construction; Dollar General site is being cleared of trees and brush; he said the crews are doing a good job. The Wawa project is waiting on the car wash; the stormwater permit has been done, and that will be amended to include the car wash. The Better Build Sheds is under construction. Sekou Abdus-Sabur is finalizing the title work to take ownership of the property; he has the stormwater and ENS and as soon as he owns the property he will get the building permits. Mr. Love then reported the Rice Convenience Site has been completed. He said the Elam Road Solar site has been sold to Dimension Energy, who have the site on [Route] 47, will be the owner of that site as well. He said Dimension has been doing a good job on solar and ENS; he said he does not anticipate any issues.

Chairman Pregelman asked if the turn near the YMCA will be a round-about. Mr. Love said that is a Smart Scale Project and VDOT created the road to open the area and is part of the County Industrial Park. Mr. Love said that will be heavily marketed.

New Business

(None)

Chairman Pregelman declared the meeting adjourned at 7:23 p.m.

Next Meeting: Tuesday, September 19, 2023 at 7:00 p.m.



**Prince Edward County Planning Commission
Meeting Minutes
October 17, 2023
5:30 pm**

Members Present: Brad Fuller Llew W. Gilliam, Jr.
Clifford Jack Leatherwood Whitfield M. Paige
John "Jack" W. Peery, Jr. John Pregarman
Teresa Sandlin Rhett Weiss
Henry Womack

Staff Present: Robert Love, Planning/Zoning Director

Also present: Chair Llew W. Gilliam, Jr.; Vice-Chair Pattie Cooper-Jones; Supervisor Odessa Pride; Supervisor Jerry R. Townsend; and Douglas P. Stanley, County Administrator.

Public Hearing comments for Planning Commission meetings will be subject to the "Citizen Guide for Providing Input During Public Participation and Public Hearings For Prince Edward County Government Meetings" revised October 12, 2022.

Chairman Pregarman called the October 17, 2023 meeting to order at 5:30 p.m., and established there was a quorum.

Chairman Gilliam called the Board of Supervisors meeting to order as a work session in conjunction with the Planning Commission.

Supervisor Townsend presented the invocation.

In Re: Comprehensive Plan Work Session

Mr. Douglas Stanley, County Administrator, stated this work session is the kick-off of the update to the County's Comprehensive Plan. He noted the current plan was adopted in 2014. The Berkley Group will make the Plan more user-friendly and optically-pleasing, and will set forth growth and development goals for the County. He added this will offer opportunity for public input, citizen surveys, a web page for the Comprehensive Plan, and with social media, the County will be able to get that information out to the public.

Tori Haynes, Planner II, Berkley Group, presented an introduction of the organization and gave an overview of the proposed Comprehensive Plan update process. She stated, by State Code, Comprehensive Plans should be reviewed at least every five years. Ms. Haynes stated their organization will engage in data gathering and public engagement, through surveys, public workshops and focus groups and stated there will be bi-monthly joint workshops with the Board and Planning Commission for input and to review drafts. She said focus groups and workshops will occur throughout November and December; the next work session for the Planning Commission and Board of Supervisors is expected to be in February 2024.

Ms. Haynes spoke about the strengths the current Comprehensive Plan contains; she said it is in compliance with the Code of Virginia, and is strong on best practices on transportation, agriculture and natural resources. She said once the new Plan is complete, copies will be online and in the public library.

Commissioner Fuller questioned the process to solicit information; Ms. Haynes said there will be two scheduled public workshops and an online survey. She added the survey is both phone friendly and internet friendly.

Supervisor Townsend requested the meetings be held after normal working hours; discussion followed with the consensus being these [workshops] will be held after 6:00 p.m.

Commissioner Weiss asked if the survey will be open for a few months. Ms. Haynes said it will remain open in the background through November and December, and this date can be extended; she added comment cards can be used to obtain more information during work sessions.

Joe Hines asked if there are similar Comprehensive Plans to review; Ms. Haynes said Berkley Group has also completed Comprehensive Plans for the Town of Farmville, and Dinwiddie and Richmond Counties.

Ms. Haynes then led an “Issues & Opportunities” Exercise; she asked for input on several areas of concern. Responses included:

- Affordable housing, county-wide
- Elderly housing, aging in place
- Child care
- Public safety
- Encourage growth
- Economic drivers with the colleges
- Strengthen relationships with the colleges
- Promotion of tourism
- Utilizing Sandy River Reservoir as an asset

Discussion then turned to existing opportunities that the County should take advantage of, which include an electric transmission lines, Sandy River Reservoir, opportunity for food production, and rail lines which connect the Port of Virginia to three areas of the Midwest.

Planning Commission Chairman Pregelman declared the meeting adjourned at 6:47 p.m.

Supervisor Townsend made a motion, seconded by Supervisor Cooper-Jones and approved by the following vote:

Aye:	Pattie Cooper-Jones	Nay:	None
	Llew W. Gilliam, Jr.		
	Odessa H. Pride		
	Jerry R. Townsend		

the Board meeting was adjourned at 6:47 p.m.

Next Meeting: Tuesday, November 21, 2023 at 7:00 p.m.



**Planning Commission
Agenda Summary**

Meeting Date: November 21, 2023
Item No.: 5
Department: Planning and Community Development
Staff Contact: Robert Love
Issue: Rezoning A2 to C1 – Paladin Medical Transport Inc.

Summary:

The County has received an application request by Paladin Medical Transport, Inc. to rezone Tax Map Parcel 039-A-17C, located at the end of Bush River Drive (State Route 630), from A2, Agricultural Residential to C1, General Commercial to allow for offices that provide case management and day support services.

The public hearing notice was published in the November 8, 2023 and November 15, 2023 editions of the Farmville Herald, Attachment (2). The list of adjoining property owners as well as the Town of Farmville and the sample letter sent to each can be found in Attachments (3) and (4). Attachment (5) is a copy of the tax map page that depicts the tax map parcel the communications tower will be placed and surrounding property. The parcel is outlined in blue. Attachment (6) is the staff prepared Potential Conditions. This parcel is contiguous with the existing C1, General Commercial District and would not be considered spot zoning.

County staff is of the opinion the use is generally compatible with the zoning district and that the rezoning of this parcel would be in harmony and will have minimal impacts on surrounding properties as far as traffic and noise.

Attachments:

1. Special Use Permit Application
2. Notice of Public Hearing
3. List of adjoining property owners
4. Sample Letter sent to adjoining property owners and Town of Farmville
5. Plat of Tax Parcel

Recommendations:

1. Conduct the Public Hearing and render a decision concerning the request for the Rezoning.

Motion _____
Second _____
Fuller _____

Gilliam _____
Leatherwood _____

Paige _____
Peery _____
Prengaman _____

Sandlin _____
Weiss _____
Womack _____



**Planning Commission
Agenda Summary**

Recommended Motions:

I move that the Planning Commission recommend approval of the request by Paladin Medical Transport, Inc. to amend the Prince Edward County Zoning Map and rezone approximately 5.00 +/- acres from A-2, Agricultural Residential to C1, General Commercial.

(list conditions)

OR

I move that the Planning Commission recommend denial of the request by Paladin Medical Transport, Inc. to amend the Prince Edward County Zoning Map and rezone approximately 5.00 +/- acres from A-2, Agricultural Residential to C1, General Commercial.

(list reasons)

OR

I move that the Planning Commission table the request by Paladin Medical Transport, Inc. to amend the Prince Edward County Zoning Map and rezone approximately 5.00 +/- acres from A-2, Agricultural Residential to C1, General Commercial. until the next meeting in order to:

(list reasons)

Motion _____
Second _____
Fuller _____

Gilliam _____
Leatherwood _____

Paige _____
Peery _____
Prengaman _____

Sandlin _____
Weiss _____
Womack _____

FOR OFFICE USE ONLY
 Comments _____

FOR OFFICE USE ONLY
 PERMIT APPLICATION # _____
 Date Submitted _____
 Magisterial District _____

County of Prince Edward

PLEASE PRINT OR TYPE

**PRINCE EDWARD COUNTY
 APPLICATION
 REQUEST FOR REZONING
 REQUEST FOR AMENDMENT**

I, WE Paladin Medical Transport Inc
 DO HEREBY PETITION THE BOARD OF SUPERVISORS OF THE COUNTY OF PRINCE EDWARD TO AMEND THE
 COUNTY ZONING ORDINANCE BY:

____ Modifying section(s) _____ of the ordinance as noted below. (See Schedule A)
 Modifying the Zoning District Classification of the following described property from the A2
 District(s), to the C1 District.

Location / Legal Description of Property: Deed Book / Page No. 1800/1460 or Instrument No. _____
 Tax Map # 27088-1 & 27088-2 Subdivision, if applicable _____

If acreage, attach plat of property and a metes and bounds description.
 Briefly describe the current use of the property.
Commercial office building and garage/shop.

Provide on schedule A below a description of the proposed use and how such proposed amendment to the zoning ordinance relates to the County's Comprehensive Plan.
 Provide on schedule B below a list of all property owners and their mailing addresses as shown on the County land records who are contiguous to and directly across the street from the parcel(s) proposed to be changed.

Owner(s) of Property
 Name: Karen Haddaway Karen Haddaway
 Address: 213 & 215 Bush River Drive, Farmville, VA 23901 10-26-2023
 Phone: _____ E-mail: _____ Signature _____ Date _____

Owner(s) of Property
 Name: _____ Signature _____
 Address: _____ Date _____
 Phone: _____ E-mail: _____

Schedule A

Describe the requested amendment to the Zoning Ordinance, (OR), Describe the relationship of the proposed re-zoning to the County's Comprehensive Plan.
 Please see the attachment A.

Schedule B

Contiguous property owner(s) to be affected by this proposed change.	
Name	Address
<u>Crossroads Community Services Board</u>	<u>60 Bush River Dr, Farmville, VA 23901</u>
<u>Carolynn and Corbett Bowman</u>	<u>3205 Green Bay Rd, Green Bay, VA 23942</u>
<u>Prince Edward IDA</u>	<u>PO Box 625 Farmville, VA 23901</u>
_____	_____
_____	_____

NOTE: The above information must be supplied by the applicant. Failure to do so will void the application. Attach additional sheets, if necessary.

Application Fee Re-zoning Permit \$300
 Application Fee Zoning Amendment \$300
 Application Fee Received By R. Haddaway Date 10/26/2023
 Cash Check # 081896

The above permit application charges are nonrefundable, regardless of whether the permit application is approved or denied once submitted.

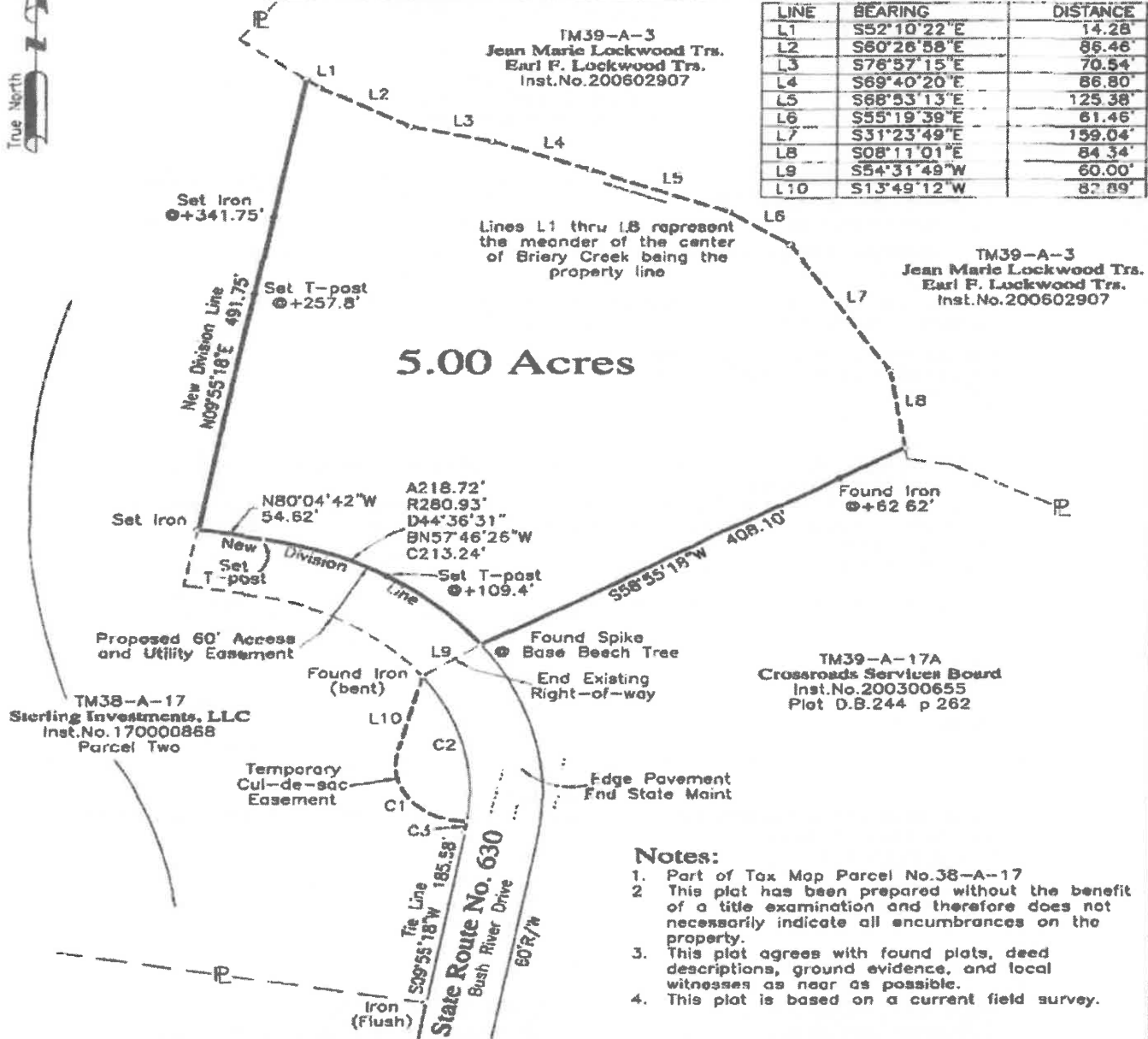
All checks for payment should be made payable to: Treasurer, Prince Edward County, Virginia.

Mail to: Department of Building & Zoning
 P. O. Box 382
 Farmville, VA 23901
 (434) 392-8837



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	60.00'	109.85'	95.01'	S38°31'58"E	104°42'20"
C2	220.93'	163.45'	159.75'	N14°16'32"W	42°23'18"
C3	220.93'	11.58'	11.58'	S08°25'13"W	3°00'11"

LINE	BEARING	DISTANCE
L1	S52°10'22"E	14.28'
L2	S60°26'58"E	86.46'
L3	S78°57'15"E	70.54'
L4	S69°40'20"E	86.80'
L5	S68°53'13"E	125.38'
L6	S55°19'39"E	61.46'
L7	S31°23'49"E	159.04'
L8	S08°11'01"E	84.34'
L9	S54°31'49"W	60.00'
L10	S13°49'12"W	87.89'



TM39-A-3
Jean Marie Lockwood Trs.
Earl F. Lockwood Trs.
Inst.No.200602907

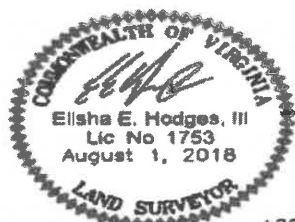
TM39-A-3
Jean Marie Lockwood Trs.
Earl F. Lockwood Trs.
Inst.No.200602907

TM39-A-17A
Crossroads Services Board
Inst.No.200300655
Plot D.B.244 p 262

TM38-A-17
Sterling Investments, LLC
Inst.No.170000868
Parcel Two

- Notes:**
1. Part of Tax Map Parcel No.38-A-17
 2. This plat has been prepared without the benefit of a title examination and therefore does not necessarily indicate all encumbrances on the property.
 3. This plat agrees with found plats, deed descriptions, ground evidence, and local witnesses as near as possible.
 4. This plat is based on a current field survey.

[Signature] 8/2/18
Zoning Administrator



Survey of Part of Tax Map Parcel No.38-A-17

Current Owner: Sterling Investments, LLC inst.No.170000868
Parcel Two
Farmville District, Prince Edward County, Virginia

August 1, 2018
Scale: 1 in. = 100 ft.
100' 0' 50' 100' 200' 400'

Maxey & Associates, P.C.
Land Surveyors • Engineers • Planners • Consultants
P.O. Box 90 • Farmville Virginia 23901 • Tel:434-392-8827

18S0136
FB1085-52

Attachment A

Crossroads Community Services Board was organized in 1973 as a cooperative venture with the seven counties of Amelia, Buckingham, Charlotte, Cumberland, Lunenburg, Nottoway and Prince Edward. Crossroads is a governing board with members appointed by each county Board of Supervisors. Crossroads is organized to prevent and treat the occurrence of mental illnesses, intellectual disabilities, substance use and co-occurring disorders and enhance the lives of children, adults and families who experience these conditions.

Proposed Plan for Property

The proposed use for the property located at 213 and 215 Bush River Drive will be to provide Intellectually/Developmentally disabled individuals with Case Management services and Day Support services.

Case Management - Case management facilitates the achievement of client wellness and autonomy through advocacy, assessment, planning communication, education, resource management, medication management, and service facilitation. Case management has a staff of 16. Fourteen of the staff work (5) days remote. The case managers use the office space for completing paperwork and team meetings or initial client assessments. This will take place on the 2nd floor. Our model will be hoteling. The side entrance to the building can be accessed by wheelchair or walker, with handicap parking. The hours of operation will be 8:30 AM-5:00 PM.

Day support program services- assist adults who have a diagnosis of developmental disabilities to be more independent, learn new things, visit new places, and make friendships. These activities are achieved through skill building, activities of daily living, communication, and facilitate community integration. There will be approximately (3-4) staff working on the first floor of the space. The hours of operation are 7:30 AM-4:00 PM.

Garage/Storage - The plan for the building located at 215 is to serve as the Garage for the storing of at least (6) trucks, at least (6) automobiles and serve as a workspace for the (5) facility management team members. The hours of operation will be 7:30 AM-4:00 PM.

Current Program offerings at Crossroads Community Service Board

Crossroads provides Emergency /Crisis Intervention Services 24/7. Preadmission screenings to determine the least restrictive environment to assist individuals in a psychiatric crisis.

Outpatient Services Counseling services to children and adults who experience emotional difficulties or mental illness, substance use or co-occurring disorders or who are at risk for developing mental illness.

Case Management Services provides assessments, ongoing support, monitoring, and linking individuals to other services on the individuals needs and interests.

Substance Use Services individual and group therapy, assessment, and referrals to detoxifications, inpatient, and 28-day residential services.

Youth and Family Services. Assessment, case management, and therapy services to children, youth, and families.

Piedmont Juvenile Detention Center Program clinical and case management services are provided to youth who have been voluntarily detained by the court system. Services include but are not limited to:

intake assessment, individual counseling, and psychoeducational group counseling. Services address both mental health and substance use concerns.

Town House psychosocial rehabilitation day program for individuals who experience the effects of mental illness, substance use or co-occurring disorders with an emphasis on the development of skills and the ability to function as independently as possible within their community.

Prevention/Education Services provides services to at-risk youth and families including community education, school-based programs, consultation, training sessions and targeted prevention programs.

Psychiatric/Medication Management Nursing Service psychiatric evaluations, consultations and medication management are provided for individuals in need of psychotropic medications. Nursing services are available to provide screenings, injections, phlebotomy, and consumer health education on healthy lifestyles.

Intellectual Disability Case Management the case management or support coordination services aids individuals and their families in accessing needed services that are responsive to the individuals needs.

Charter Oak/KREST/Southside Enterprise each provides day support service programs consisting of training, assistance, and specialized supervision in the acquisition, retention, or improvement of self-help, socialization, and adaptive skills for adults with developmental disabilities. Services are provided in groups or individuals in nonresidential community-based settings.

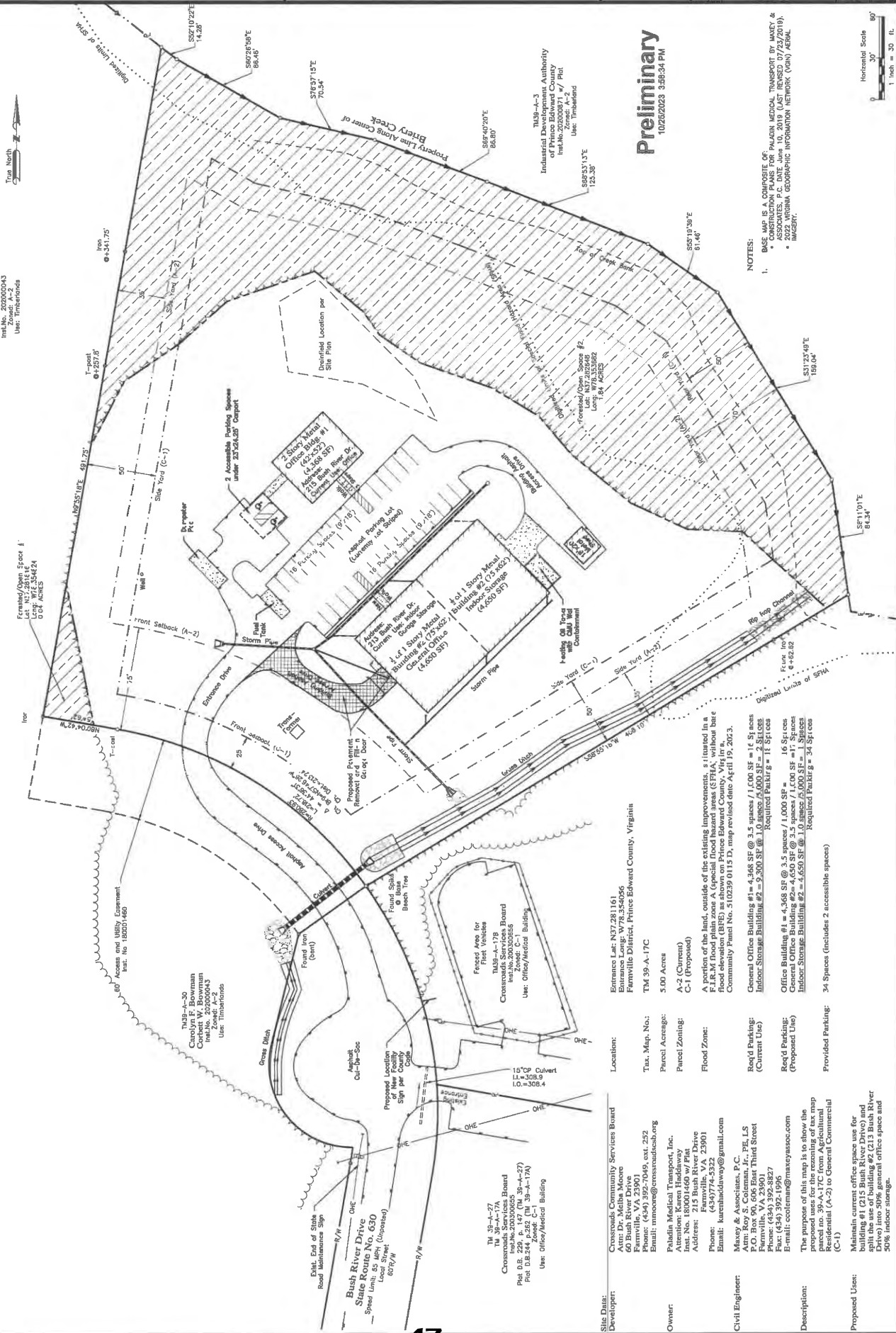
Residential Services are operated by Crossroads in several group homes and HUD/Section 8 apartments.

OBRA Services The Omnibus Budget Reconciliation Act (OBRA) dates back to 1987. It was developed to ensure individuals residing in nursing facilities receive quality care and have access to specialized services that are not usually provided in nursing facilities. Individuals with mental illness, intellectual disabilities or developmental disabilities who live in nursing facilities across the Commonwealth receive OBRA specialized services.

NO.	DATE	REVISION
1	10/25/2023	230200043

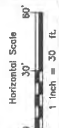
Crossroads Community Services Board
 Farmville District, Prince Edward County, VA
 Conceptual Plan for

TM39-A-30
 Carolyn F. Bowman
 Civil Engineer
 Inst. No. 202000043
 Use: Timberlands



Preliminary
 10/25/2023 3:58:34 PM

- NOTES:
- BASE MAP IS A COMPOSITE OF:
 - CONSTRUCTION PLANS FOR PALMUM MEDICAL TRANSPORT BY MAXEY & ASSOCIATES, P.C. (2022000055)
 - 2022 VIRGINIA GEOGRAPHIC INFORMATION NETWORK (VGIN) AERIAL IMAGERY.



Location: Entrance Lot: N27.281161° E
 357.00' ±
 Farmville District, Prince Edward County, Virginia

Tax. Map No.: TM 39-A-17C

Parcel Acreage: 5.00 Acres

Parcel Zoning: A-2 (Current)
 C-1 (Proposed)

Flood Zone:

Req'd Parking: General Office Building #1 = 4,368 SF @ 3.5 spaces / 1,000 SF = 14 Spces
 (Current Use) General Office Building #2 = 4,650 SF @ 3.5 spaces / 1,000 SF = 16 Spces
 General Office Building #3 = 4,650 SF @ 3.5 spaces / 1,000 SF = 16 Spces
 General Office Building #4 = 4,368 SF @ 3.5 spaces / 1,000 SF = 15 Spces
 (Proposed Use) Industrial Storage Building #2 = 1,650 SF @ 1.0 space / 1,000 SF = 2 Spces
 Required Parking = 47 Spces

Provided Parking: 34 Spces (includes 2 accessible spaces)

Site Data: Crossroads Community Services Board
 60 Bush River Drive
 Farmville, VA 23901
 Phone: (434) 392-7049, ext. 252
 Email: mmosey@crossroadsch.org

Owner: Palatin Medical Transport, Inc.
 P.O. Box 90, 606 East Third Street
 Farmville, VA 23901
 Phone: (434) 392-8827
 Email: kurtshiddaway@gmail.com

Civil Engineer: Masey & Associates, P.C., Inc. L.S.
 P.O. Box 90, 606 East Third Street
 Farmville, VA 23901
 Phone: (434) 392-8827
 Email: coolmanm@maseyassoc.com

Description: The purpose of this map is to show the proposed parcel no. 39-A-17C from Agricultural Residential (A-2) to General Commercial (C-1).

Proposed Use: Maintain current office space use for building #1 (215 Bush River Drive) and building #2 (215 Bush River Drive) and building #3 (215 Bush River Drive) and building #4 (215 Bush River Drive) into 50% annual office space and 50% interior storage.



Please publish the following public hearing notice in **THE FARMVILLE HERALD** on **Wednesday, November 8, 2023** and **Wednesday, November 15, 2023**.



NOTICE OF PUBLIC HEARING

The Prince Edward County Planning Commission will hold PUBLIC HEARINGS on Tuesday, November 21, 2023 commencing at 7:00 p.m. in the Board of Supervisors Room, Prince Edward County Courthouse, 111 N. South Street, 3rd Floor, Farmville, Virginia, to receive citizen input prior to considering the following:

1. A request by Paladin Medical Transport, Inc. to rezone Tax Map Parcel 039-A-17C, located at the end of Bush River Drive (State Route 630), from A2, Agricultural Residential to C1, General Commercial to allow for offices that provide case management and day support services.
2. A request by Johnathan Yeats for Milestone Tower Limited Partnership-IV d/b/a Milestone Towers for a Special Use Permit to construct a 199' communications tower on land denoted as Tax Map Parcel 046-A-50, located on the east side of Five Forks Road (State Route 658), 0.10 mile from its intersection with Pin Oak Road (State Route 626).

Citizen input for Public Hearings will be received through: (1) in-person participation; (2) remote participation by calling 1-844-890-7777, Access Code # 390313; or (3) by written comments mailed to: Planning Commission, P.O. Box 382, Farmville, VA 23901. Please limit word count to no more than 500 words. Comments must be received by 2:00 p.m. the day of the meeting.; via email to info@co.prince-edward.va.us; or via facsimile at 434-392-6683. Based on the number of speakers, the Chair will determine the time allotted to each. Citizens may also view the monthly Planning Commission meeting live (no public input) at the County's YouTube Channel by using the link on the County website under Meetings & Public Notices.

Additional information regarding the proposed rezoning and special use permit is available for public review on the County's web site at www.co.prince-edward.va.us or in the Prince Edward County Administrator's Office, 111 N. South Street, 3rd Floor, Farmville, VA. It is the County's intent to comply with the Americans with Disabilities Act. Should you have questions or require special accommodations, please contact the County Administrator's Office at 434-392-8837.

###

PLANNING COMMISSION

John Prengaman
Chairman
Llew W. Gilliam, Jr.
Board Representative
Brad Fuller
Clifford Jack Leatherwood
Whitfield M. Paige
John "Jack" W. Peery, Jr.
Teresa Sandlin
Rhett L. Weiss
Henry Womack



COUNTY OF PRINCE EDWARD, VIRGINIA

**Director of Planning and
Community Development**

Robert Love
Post Office Box 382
111 N. South Street, 3rd Floor
Farmville, VA 23901
Office: (434) 414-3037
Fax: (434) 392-6683
rlove@co.prince-edward.va.us
www.co.prince-edward.va.us

November 3, 2023

To: Property Owners

From: Robert Love, Director of Planning and Community Development

Subject: Rezoning Request – Paladin Medical Transport, Inc.

The Prince Edward County Planning Commission will hold a public hearing on Tuesday, November 21, 2023 at 7:00 p.m. to receive citizen input on a request by Paladin Medical Transport, Inc. to rezone Tax Map Parcel 039-A-17C, located at the end of Bush River Drive (State Route 630), from A2, Agricultural Residential to C1, General Commercial to allow for offices that provide case management and day support services.

You are receiving this notice because you own land in the vicinity of the property requested to be approved for the rezoning. Following the hearing the Prince Edward County Planning Commission may vote to recommend approval or denial of the request.

Instructions of how to listen or participate in the meeting and public hearing are contained on the reverse side of this letter. If you have any questions or comments, please do not hesitate to contact me at: 434-414-3037 or by email at: rlove@co.prince-edward.va.us

Respectfully,

Robert Love

Director of Planning and Community Development

PLANNING COMMISSION

John Prengaman
Chairman
Llew W. Gilliam, Jr.
Board Representative
Brad Fuller
Clifford Jack Leatherwood
Whitfield M. Paige
John "Jack" W. Peery, Jr.
Teresa Sandlin
Rhett L. Weiss



COUNTY OF PRINCE EDWARD, VIRGINIA

**Director of Planning and
Community Development**

Robert Love

Post Office Box 382
111 N. South Street, 3rd Floor
Farmville, VA 23901

Office: (434) 392-8837

Fax: (434) 392-6683

rlove@co.prince-edward.va.us

www.co.prince-edward.va.us

November 3 2023

C. Scott Davis, Town Manager
Town of Farmville, Virginia
P.O. Box 368
Farmville, VA 23901

From: Robert Love, Director of Planning and Community Development

Subject: Rezoning Request A2 to C1 – Paladin Medical Transport, Inc.

Dear Mr. Davis;

Per §15.2-2204 (C) of the Code of Virginia (1950), as amended, you are being sent written notification of a rezoning application as listed in the attached public notice which involves a parcel of land within one-half mile of a boundary with an adjoining locality.

The Prince Edward Planning Commission will hold a public hearing on November 21, 2023 at 7:00 p.m. to receive input on the requests. Instructions of how to listen or participate in the meeting and public hearing are contained on the reverse side of this letter.

If you have any questions or comments, please forward them to my attention no later than noon on the date of the public meeting. please do not hesitate to contact me at: 434-414-3037 or by email at: rlove@co.prince-edward.va.us

Respectfully,

Robert Love

Director of Planning and Community Development

[This page intentionally left blank]



**Planning Commission
Agenda Summary**

Meeting Date: November 21, 2023
Item No.: 6
Department: Planning and Community Development
Staff Contact: Robert Love
Issue: Special Use Permit – Milestone Towers

Summary:

The County has received an application request by Johnathan Yeats for Milestone Tower Limited Partnership-IV d/b/a Milestone Towers for a Special Use Permit to construct a 199’ communications tower on land denoted as Tax Map Parcel 046-A-50, located on the east side of Five Forks Road (State Route 658), 0.10 mile from its intersection with Pin Oak Road (State Route 626). This parcel is in the A1, Agricultural Conservation zoning district and the use requires a Special Use Permit.

The public hearing notice was published in the November 8, 2023 and November 15, 2023 editions of the Farmville Herald, Attachment (2). The list of adjoining property owners and the sample letter sent to each can be found in Attachments (3) and (4). Attachment (5) is a copy of the tax map page that depicts the tax map parcel the communications tower will be placed and surrounding property. The parcel is outlined in blue. Attachment (6) is the staff prepared Potential Conditions.

County staff is of the opinion the use is generally compatible with the zoning district and will have minimal impacts on surrounding properties as far as traffic and noise.

Attachments:

1. Special Use Permit Application
2. Notice of Public Hearing
3. List of adjoining property owners
4. Sample Letter sent to adjoining property owners
5. Plat of Tax Parcel
6. Potential Conditions

Recommendations:

1. Conduct the Public Hearing and render a decision concerning the request for the Special Use

Motion _____
Second _____
Fuller _____

Gilliam _____
Leatherwood _____

Paige _____
Peery _____
Prengaman _____

Sandlin _____
Weiss _____
Womack _____



**Planning Commission
Agenda Summary**

Recommended Motions:

I move that the Planning Commission recommend approval of the Special Use Permit request by Milestone Tower Limited Partnership-IV d/b/a Milestone Towers to construct a 199' communications tower with the following conditions:

(list of conditions)

OR

I move that the Planning Commission recommend denial of the Special Use Permit request by Milestone Tower Limited Partnership-IV d/b/a Milestone Towers to construct a 199' communications tower due to the following:

(list reasons)

OR

I move that the Planning Commission table Special Use Permit request by Milestone Tower Limited Partnership-IV d/b/a Milestone Towers to construct a 199' communications tower until the next meeting in order to:

(list reasons)

Motion _____
Second _____
Fuller _____

Gilliam _____
Leatherwood _____

Paige _____
Peery _____
Prengaman _____

Sandlin _____
Weiss _____
Womack _____

COMMENTS: _____

PERMIT/APPLICATION NO _____
ZONING DISTRICT _____
MAGISTERIAL DISTRICT _____
DATE SUBMITTED _____

County of Prince Edward

PLEASE PRINT OR TYPE

**PRINCE EDWARD COUNTY APPLICATION
FOR SPECIAL USE PERMIT**

TO: PRINCE EDWARD COUNTY PLANNING COMMISSION SPECIAL EXCEPTION REQUESTED:
VIA: ZONING ADMINISTRATOR

The undersigned owner of the following described property hereby applies for a Special Use permit as provided in Section 5-124 of Article V, Site Plan requirements are found in Section 4-100 of Article IV Development Standards of the Zoning Ordinance of Prince Edward County, Virginia.

Applicant's Name: Jonathan Yates for Milestone Tower Limited Partnership-IV (d/b/a Milestone Towers)
Applicant's Address: 107 Broad Street, 3rd Floor, Charleston SC 29401
Applicant's Telephone Number: (843) 411-0754

Present Land Use: Agriculture Vacant

Legal Description of Property with Deed Book and Page No. or Instrument No. _____
Please see Exhibit "12" and "13" in the attached narrative.

Tax Map # 046-A-50 Acreage: 56.25

Narrative statement evaluating effects on adjoining properties (noise, odor, dust, fumes, etc.): (Attach-additional sheet if necessary.) Please see attached project narrative.

Statement of general compatibility with adjacent and other properties in the zoning district. (Attach additional sheet if necessary.) Please see attached project narrative.

Height of Principal Building (s): Feet 195-feet Stories N/A

APPLICANT'S STATEMENT: (if not owner(s) of property):

I hereby certify that I have the authority to make the foregoing application, that the information given is complete and correct to the best of my knowledge, and that development and/or construction will conform with the regulations as set forth in the Prince Edward County Zoning Ordinance as written and also with the description contained in this permit application.

[Signature] Date 08-25-23
Signature of Applicant (if not property owner) Date

PROPERTY OWNER(S) STATEMENT:

I hereby certify that I/We own the above described property, that the information given is complete and correct to the best of my knowledge, and the above person(s), group, corporation, or agent has the full and complete permission of the undersigned owner(s) to make application for a Conditional Use permit as set forth in the Prince Edward County Zoning Ordinance as written.

[Signature] Date 8-17-23
Signature of Property Owner(s) Date

Signature of Property Owner(s) Date

Signature of Property Owner(s) Date

NOTE: THIS PERMIT APPLICATION IS NOT VALID UNLESS ALL PROPERTY OWNER(S) SIGNATURES ARE AFFIXED AND DATED. ATTACH ADDITIONAL SHEETS IF NECESSARY.

Application Fee \$300.00 Fee Received by [Signature] Date 8-30-2023

The above mentioned application charges are nonrefundable, regardless of whether the permit application is approved or denied once submitted.

All checks for payment should be made payable to: Treasurer, Prince Edward County, Virginia.

Mail to: Department of Planning &
Community Development
P. O. Box 382
Farmville, VA 23901
(434) 392-8837

HELLMAN YATES

ATTORNEYS AND COUNSELORS AT LAW

JONATHAN L. YATES
DIRECT VOICE 843 414-9754
JLY@HELLMANAYATES.COM

HELLMAN & YATES, PA
145 KING STREET, SUITE 102
CHARLESTON, SOUTH CAROLINA 29401
V 843 266-9099
F 843 266-9188

August 25, 2023

VIA FEDERAL EXPRESS

Robert Love
Director of Planning and Community Development
111 N. South Street, 3rd Floor
Farmville, VA 23901
(434) 414-3037

Re: Application for construction of a 195-foot monopole-style wireless telecommunications facility located at 4451 Five Forks Road Pamplin, VA 23958 (Parcel ID # 046-A-50) on behalf of Milestone and Verizon Wireless.

Dear Mr. Love,

Enclosed, please find the application of Milestone and Verizon Wireless for a proposed 195-foot monopole-style wireless telecommunications facility. The proposed facility will be on the property of Robert Alton Gaunce which is located at 4451 Five Forks Road Pamplin, VA and is designated as Prince Edward County Parcel ID number 046-A-50. This is a very important facility to allow Verizon Wireless to improve its coverage for both voice and advanced data in this section of Prince Edward County.

We have taken the liberty of recasting the relevant sections of the Prince Edward County Zoning Ordinance, with our answer to the relevant section in bold beneath. As will be evident from a review of the attached, Milestone and Verizon Wireless have not only met, but have exceed, all of the necessary requirements for approval under the Prince Edward County Zoning Ordinance.

Towers

- (A) *Intent*: These minimum standards are intended to govern the location of all towers and the installation of antennas and accessory equipment structures.

- (B) Towers, with related unmanned equipment buildings, shall be permitted only by special use permit in zoning districts as specified in article II, District Regulations. Applicants are encouraged to consider properties owned by the county when locating towers.

Applicant accepts and acknowledges this provision. Please see the Site Plan and Drawing by Virginia Professional Engineer Stuart P. Patterson attached hereto as Exhibit "1" and incorporated herein by reference. The Gaunce property is located in the A-1 zoning district.

(C) *General standards:*

1. No tower or related facilities shall be located within 500 feet of any residential district.

Applicant accepts and acknowledges this provision. The proposed facility is not located within 500 ft. of any residential district, as shown on sheet Z-1 of the Site Plan and Drawings, in Exhibit "1".

2. No new tower shall be permitted unless the applicant demonstrates to the reasonable satisfaction of the board of supervisors that no existing tower or structure can accommodate the proposed antenna. Evidence submitted to demonstrate that no existing tower or structure can accommodate the applicant's proposed antenna may consist of any of the following:
 - a. No existing towers or structures are located within the geographic area required to meet the applicant's engineering requirements.
 - b. Existing towers or structures are not of sufficient height to meet the applicant's engineering requirements.
 - c. Existing towers or structures are not of sufficient structural strength to support the applicant's proposed antenna or related equipment.
 - d. The applicant's proposed antenna would cause electromagnetic interference with existing antenna, or the antenna on the existing towers, or structures would cause interference with the applicants proposed antenna.

- e. The applicant demonstrates that there are other limiting factors that render existing towers or structures unsuitable.

Applicant accepts and acknowledges this provision. Please see the Alternative Candidate Analysis by Matt Penning of Milestone Towers attached hereto as Exhibit "2" and incorporated herein by reference. The closest existing tower is 2.334 miles to the northwest and it will not allow Verizon Wireless to provide coverage to the intended area.

3. No tower shall exceed 199 feet in height, including antennas.

Applicant accepts and acknowledges this provision. As shown on sheet SP-3 of the Site Plan and Drawings in Exhibit "1", the proposed monopole facility is 195 ft. with a 4 foot lightning rod.

4. Towers shall either maintain a galvanized steel finish or, subject to any applicable standards of the FCC or FAA, be painted a neutral color.

Applicant accepts and acknowledges this provision. As shown on sheet SP-3 of the Site Plan and Drawings in Exhibit "1", the proposed monopole facility will have a galvanized steel finish.

5. At any tower site, the design of the buildings and related structures shall use materials, colors, textures, screening, and landscaping that will blend the facilities to the natural setting and the built environment. The related unmanned equipment structure shall not contain more than 750 square feet of gross floor area or be more than 12 feet in height, and shall be located in accordance with the requirements of the zoning district in which located.

Applicant accepts and acknowledges this provision.

6. Towers shall not be artificially lighted, unless required by the FCC or FAA. If lighting is required, the board of supervisors may review the available lighting alternatives and approve the design that would cause the least disturbances to surrounding views.

Applicant accepts and acknowledges this provision. Due to the structure's de minimis height, the FAA will not likely require illumination of the proposed facility. Please see the FAA Notice of Proposed Construction or Alteration Off-Airport and Airspace Analysis by Ken Patterson Airspace Consulting attached hereto as Exhibit "3" and incorporated herein by reference.

7. All towers must meet or exceed current standards and regulations of the FAA, the FCC, and any other agency of the federal government with the authority to regulate towers. If such standards and regulations are changed, then the owners of the tower governed by this section shall bring such structures into compliance with such revised standards as required by above named agencies. Failure to bring a tower into compliance with such revised standards and regulations as required by above named agencies shall constitute grounds for the revocation of the special use permit, and removal of the tower at the owner's expense.

Applicant accepts and acknowledges this provision. Please see the FCC Form 854 attached hereto as Exhibit "4" and incorporated herein by reference.

8. The owner of any tower shall ensure that it is constructed and maintained in compliance with standards contained in applicable federal, state, and local building codes and regulations.

Applicant accepts and acknowledges this provision.

9. Each applicant requesting a special use permit for a new tower shall submit two copies of a scaled site plan and a scaled elevation view and other supporting drawing, calculations, and other documentation, signed and sealed by appropriate licensed professionals, showing the location and dimensions of all improvements, including information concerning topography, radio frequency coverage, height requirements, setbacks, drives, parking, fencing, landscaping, easements, adjacent uses, and any other information deemed necessary by the county to assess compliance with the regulations of this ordinance.

Additionally the applicant shall provide actual photographs of the site from designated relevant views that include a simulated photographic image of the proposed monopole or tower. The photograph with the simulated image shall include the foreground, the mid-ground, and the background of the site.

Applicant accepts and acknowledges this provision. Please see the Site Plans and Design Drawings in Exhibit "1"; Site Photos attached hereto as Exhibit "5" and incorporated herein by reference; and Photo Simulations attached hereto as Exhibit "6" and incorporated herein by reference.

10. An engineering report, certifying that the proposed tower and site are compatible for co-location with a minimum of three similar users including the primary user, must accompany the application. The applicant shall provide copies of their co-location policy.

Applicant accepts and acknowledges this provision. Please see the Structural Design Report by Virginia Professional Engineer Keith J. Tindall attached hereto as Exhibit “7” and incorporated herein by reference. The proposed facility has been designed for Verizon Wireless and at least three additional users. In addition, please see the ANSI Fall Zone Certification by Virginia Professional Engineer Keith J. Tindall attached hereto as Exhibit “8” and incorporated herein by reference and Collocation Policy Letter of Matt Penning of Milestone Towers attached hereto as Exhibit “9” and incorporated herein by reference.

11. Local government access. Owners of towers shall provide the county co-location opportunities without compensation as a community benefit to improve radio communications for county departments and emergency services, provided it does not conflict with the co-location requirements of this section.

Applicant accepts and acknowledges this provision.

12. In addition to any reasonable application fees established by board of supervisors, the applicant shall be financially responsible for the cost of any professional engineering and or related services that may be procured by the county to independently verify the application information submitted by the applicant.

Applicant accepts and acknowledges this provision.

13. Towers, guys, and accessory facilities must satisfy the minimum zoning district setback requirements for primary structures.

Applicant accepts and acknowledges this provision. Please see sheet Z-1 of the Site Plan and Drawings, in Exhibit “1”. The proposed monopole and compound easily meet the A-1 district setbacks of 100 ft. in front, 35 ft. on sides; and 70 ft. in the rear from the proposed property’s property lines

14. Towers shall be enclosed by security fencing not less than six feet high and shall be equipped with an appropriate anti-climbing device.

Applicant accepts and acknowledges this provision. Please see sheet C-1 of the Site Plan and Drawings in Exhibit “1”. The 50 ft. by 50 ft. compound will be secured by a 7 ft. fence topped with three strands of barbed wire as an anti-climbing device, for a total height of 8 ft.

15. Tower facilities shall be landscaped with a buffer of plant materials that effectively screens the view of the support buildings from adjacent property. The standard buffer shall consist of a landscaping strip of at least four feet wide outside the perimeter of the compound. Existing mature tree growth and natural land form on the site shall be preserved to the maximum extent possible.

Applicant accepts and acknowledges this provision. Please see sheets L-1 and L-2 of the Site Plan and Drawings in Exhibit "1". Milestone Towers will plant 13 Nellie R. Stevens Holly's and 34 Wax Myrtles in a 10 ft. buffer area along the compound fence line.

16. Any tower that is not operational for a continuous period of 90 days shall be considered abandoned, and the owner of such tower shall remove same within 90 days of receipt of notice from the building official or county administrator notifying the owner of such removal requirement. Removal includes the removal of the tower, all subterranean tower and fence footers, underground cables and support buildings. The buildings may remain with the approval of the landowner. If there are two or more users of a single tower, then this provision shall not become effective until all users cease using the tower. If the tower is not removed per this section, the county may require the landowner to have it removed. In all cases, the site shall be returned as closely as possible to its original conditions.

Applicant accepts and acknowledges this provision. Please see the Tower Removal Letter by Matthew Penning of Milestone Towers attached hereto as Exhibit "10" and incorporated herein by reference.

17. Every applicant for a special use permit for a tower shall, as a condition for the issuance of the special use permit, file with the building official a continuing bond in the penal sum of not less than \$10,000.00 and conditioned for the faithful observance of the provisions of this ordinance and all amendments thereto, and of all the laws and ordinances relating to towers, and which shall indemnify and save harmless the county from any and all damages, judgments, costs, or expenses which the county may incur by reason of the removal or the causing to be removed any tower as provided for in this section.

Applicant accepts and acknowledges this provision. The \$10,000 bond will be provided with our application for a building permit. Please see the Indemnification Letter by Matthew Penning of Milestone Towers attached hereto as Exhibit "11" and incorporated herein by reference.

August 25, 2023
Page 7

In support of our application, we have also included Legal Description attached hereto as Exhibit "12" and incorporated herein by reference; Recorded Deed attached hereto as Exhibit "13" and incorporated herein by reference; and Memorandum of Lease attached hereto as Exhibit "14" and incorporated herein by reference.

Upon review, please let us know if we can provide any additional information or materials in support of our application. I can be reached at (843) 414-9754 or (843) 813-0103.

Thank you so much for all your help with this.

With warmest regards, I am

Very truly yours,

A handwritten signature in blue ink that reads "Jonathan L. Yates". The signature is written in a cursive style with a large initial "J".

Jonathan L. Yates

JLY;jlc
Enclosures

Exhibit “1”



STOCKTON LAKE
 4451 FIVE FORKS ROAD
 PAMPLIN, VA
 23958

DESIGN: SPP
 DRAWING: MAA
 REVIEW: SPP
 DATE: 04/19/23
 COMM. NO. 04/19/23

COVER SHEET

SHEET NO.: **G-1**

STOCKTON LAKE

4451 FIVE FORKS ROAD

PAMPLIN, VA 23958

PROJECT DESCRIPTION
 INSTALLATION OF NEW 195' MONOPOLE TOWER AND FENCED
 COMPOUND WITHIN A RAWLAND LEASE AREA

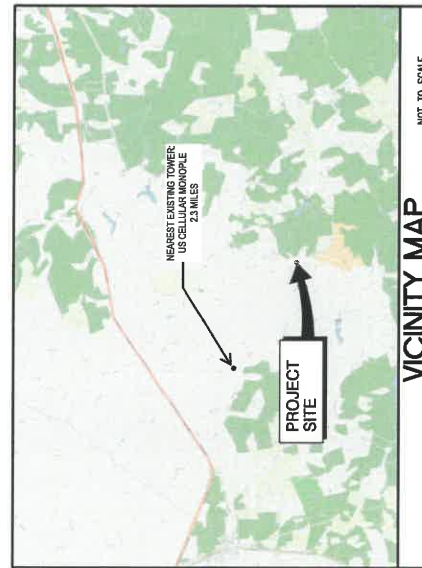


SCAN FOR DIRECTIONS TO SITE:



PROJECT TEAM		SUBMITTALS	
APPLICANT INFORMATION:	PHONE NUMBER:	SUB. NO.	DESCRIPTION
MILESTONE TOWERS BTS DIBA MILESTONE TOWERS 12110 SUNSET HILLS ROAD, SUITE 600 RESTON, VA 20190	(703) 865-4887	1	REVIEW SET
APPLICANT: MATT PENNING	PHONE NUMBER: (540) 793-0610	2	ZONING DRAWING SUBMITTAL
REAL ESTATE: SEAN CAI	PHONE NUMBER: (843) 714-4068	3	SITE PLAN SUBMITTAL
ZONING: JOHATHAN YATES	PHONE NUMBER: (202) 235-1453		
CONSTRUCTION: DAVID TURNER	PHONE NUMBER: (202) 235-1453		
UTILITIES: DAVID TURNER	PHONE NUMBER: (202) 235-1453		
RF ENGINEER: MICHAEL RAY GOIN	PHONE NUMBER: TBD		

CONSULTING TEAM		DRAWING INDEX	
ENGINEERING:	PROPERTY OWNER:	SHEET NUMBER	SHEET TITLE
BAMMAN CONSULTING, LLC 14488 ST ANDREWS LN ASHLAND, VA 23005 CONTACT: STUART PATTERSON, PE TELEPHONE: (703) 326-8574	TOWER FACILITY OWNER: MILESTONE TOWERS BTS DIBA MILESTONE TOWERS	C-1	COVER SHEET
SURVEY: DICKERSON SURVEYING, LLC 500 COURT ST APPOMATTOX, VA 24522 CONTACT: MICHAEL RAY GOIN, LS TELEPHONE: (434) 352-8580	UTILITIES INFORMATION: POWER: SOUTHSIDE ELECTRIC COOPERATIVE (888) 878-5314 TELEPHONE: INXEX TELECOM, INC. (434) 352-4894	Z-1	PARCEL PLAN
	PROJECT DATA: ZONING: A-1 ACREAGE: 58.24 JURISDICTION: PRINCE EDWARD COUNTY SITE TYPE: RAW LAND STRUCTURE TYPE: MONOPOLE	SP-1	SITE PLAN
	STRUCTURE HEIGHT: 195' OVERALL HEIGHT: 189' (TOP OF LIGHTNING ROD) LEASE HEIGHT: 100' X 100' AREA OF LAND DISTURBANCE: 7,390 SF (0.174 AC.)	SP-2	ENLARGED SITE PLAN
	FAA 1A GEOGRAPHIC COORDINATES: LATITUDE: 37° 34' 33.81" N (NAD 83) LONGITUDE: 78° 34' 46.04" W (NAD 83) ELEVATION: 576.5 AMSL	SP-3	ELEVATION
	ADA COMPLIANCE: FACILITY IS UNMAINTAINED AND NOT FOR HUMAN HABITATION. SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.	C-1	CONSTRUCTION DETAILS
		C-2	CONSTRUCTION DETAILS
		C-3	CONSTRUCTION DETAILS
		C-4	SIGNAGE PLAN
		L-1	LANDSCAPE PLAN
		L-2	LANDSCAPE DETAILS





SITE INFO:
STOCKTON LAKE
 4451 FIVE FORKS ROAD
 PAMPLIN, VA
 23958

DESIGN:	SPP	
DRAWN:	MAA	
DATE:	SPP	
REVISED:	04/19/23	
COMMENTS:	SUBMITTALS	
SYMBOL	DESCRIPTION	DATE
1	POLE PERMIT	7/19/23
2	LEASE AREA	7/19/23
3	SEE PLAN SUBMITTALS	8/19/23

SHEET NAME:
SITE PLAN
SHEET NO. SP-1

GENERAL NOTES

- THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.

SURVEYOR'S NOTES

- PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. THIS IS NOT A BOUNDARY SURVEY.
- PROJECT IS UNDER THE JURISDICTION OF PRINCE EDWARD COUNTY, VA.
- SURVEY WAS PERFORMED ON 4/27/23 USING A SOKKA GRX3 RECEIVER WITH TOPCON NETWORK TO ESTABLISH CONTROL. DATA WAS COLLECTED WITH SOKKA ROBOT.

ABBREVIATIONS

#	NUMBER	DESCRIPTION
AMP	AMPS	NOW OR FORMERLY
ACL	ACILE GROUND LEVEL	NUMBER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OSHA
AWG	AMERICAN WIRE GAUGE	PIP
CL	CENTERLINE	RF
COAX	COAXIAL CABLE	SYM
COMM	COMMUNICATION	TIA
CONC	CONCRETE	TV
E	EXISTING, EAST	TY
EIA	ELECTRONICS INDUSTRIES ALLIANCE	V
GPIN	GRID PARCEL	WM
INST	IDENTIFICATION NUMBER	WV
MIN	MINIMUM	
NAD	NORTH AMERICAN DATUM	

LEGEND

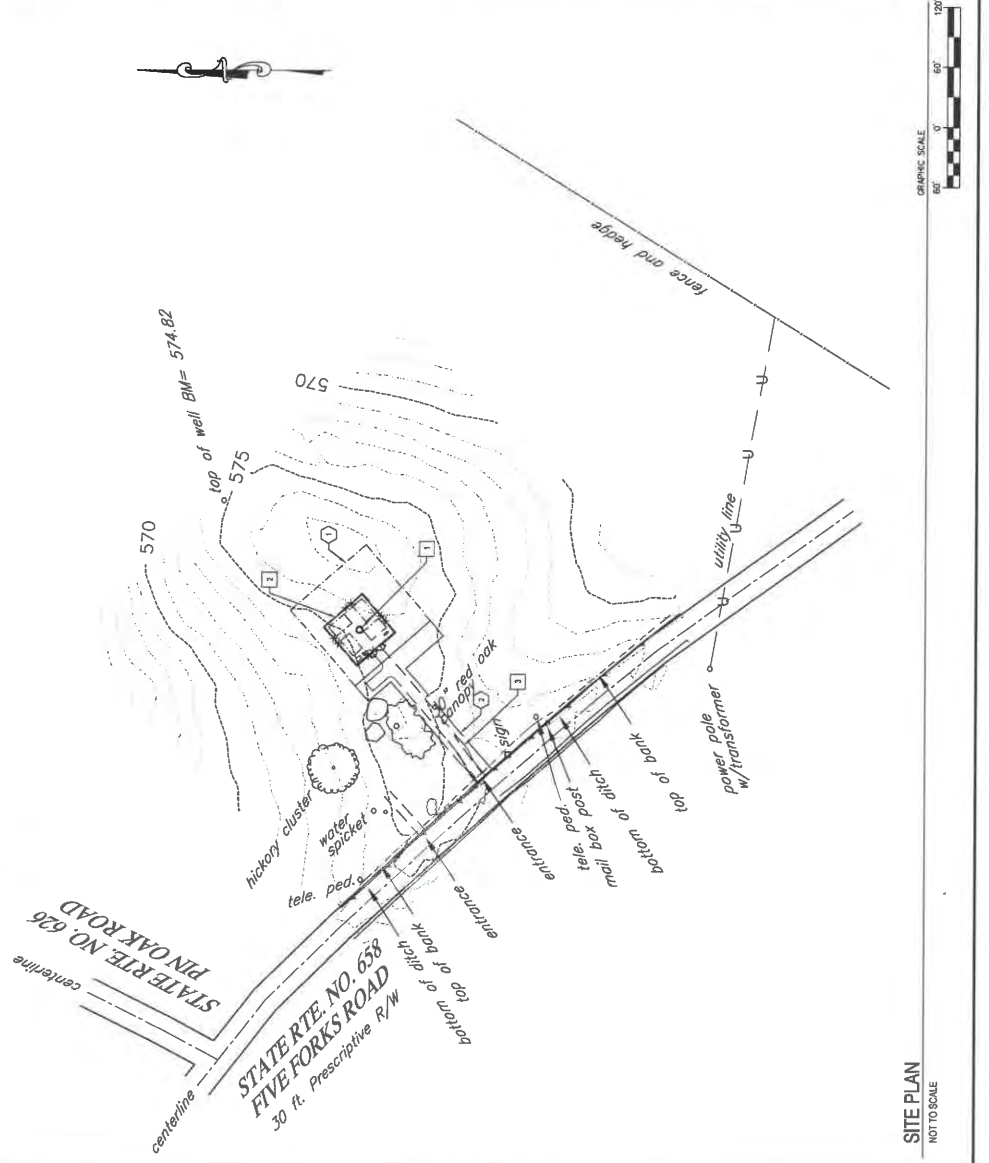
---	PROPERTY LINE	CONCRETE
- - - -	LEASE AREA	
- . - . -	EASEMENT	
=====	EDGE OF PAVEMENT	
-----80-----	CONTOUR	
-----90.22-----	SPOT ELEVATION	
----	GRAVEL	
----	FENCE	
----	DITCH	

LEASE NOTES

- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.

CONSTRUCTION NOTES

- MONOPOLE TOWER, SEE SHEET SP-3.
- FENCED COMPOUND, SEE SHEET SP-2.
- ENTRANCE AND ROAD REPAIR/IMPROVEMENTS PER ROW.



SITE PLAN
 NOT TO SCALE



STOCKTON LAKE

**4451 FIVE FORKS ROAD
PAMPLIN, VA
23958**

DESIGN: SPP
DRAWN: MAA
REVIEW: SPP
DATE: 04/19/23
COMM. NO. -

SYMBOL	DESCRIPTION	DATE
1	REVISION SET	7/14/23
2	REVISION SUBMITTAL	7/27/23
3	SET FOR EXIST.	8/14/23

SHEET NAME:
ENLARGED SITE PLAN

SHEET NO.:
SP-2

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. PROPOSED UTILITIES INSIDE THE COMPOUND SHALL BE HAND DUG. UTILITY TRENCHES SHALL BE PROTECTED WITH 18" MIN. THICK CONCRETE CURBS AND 18" MIN. THICK STONE WITH TRACKED TRENCHING. ALL UTILITIES SHALL BE PROTECTED WITH TRACKED TRENCHING. ALL UTILITIES SHALL BE PROTECTED WITH TRACKED TRENCHING.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESH) BEFORE LAND DISTURBANCE COMMENCEMENT AND CHECKED PERIODICALLY TO ENSURE THEY ARE FUNCTIONING AS INDICATED.
- THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED. CONTRACTOR SHALL COORDINATE TO RELOCATION OF EXCESS SOIL WITH THE LANDLORD.
- ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEED AND ESTABLISH A PERMANENT VEGETATIVE COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT AND CONSTRUCTION STAKING. LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.

E&S NOTES

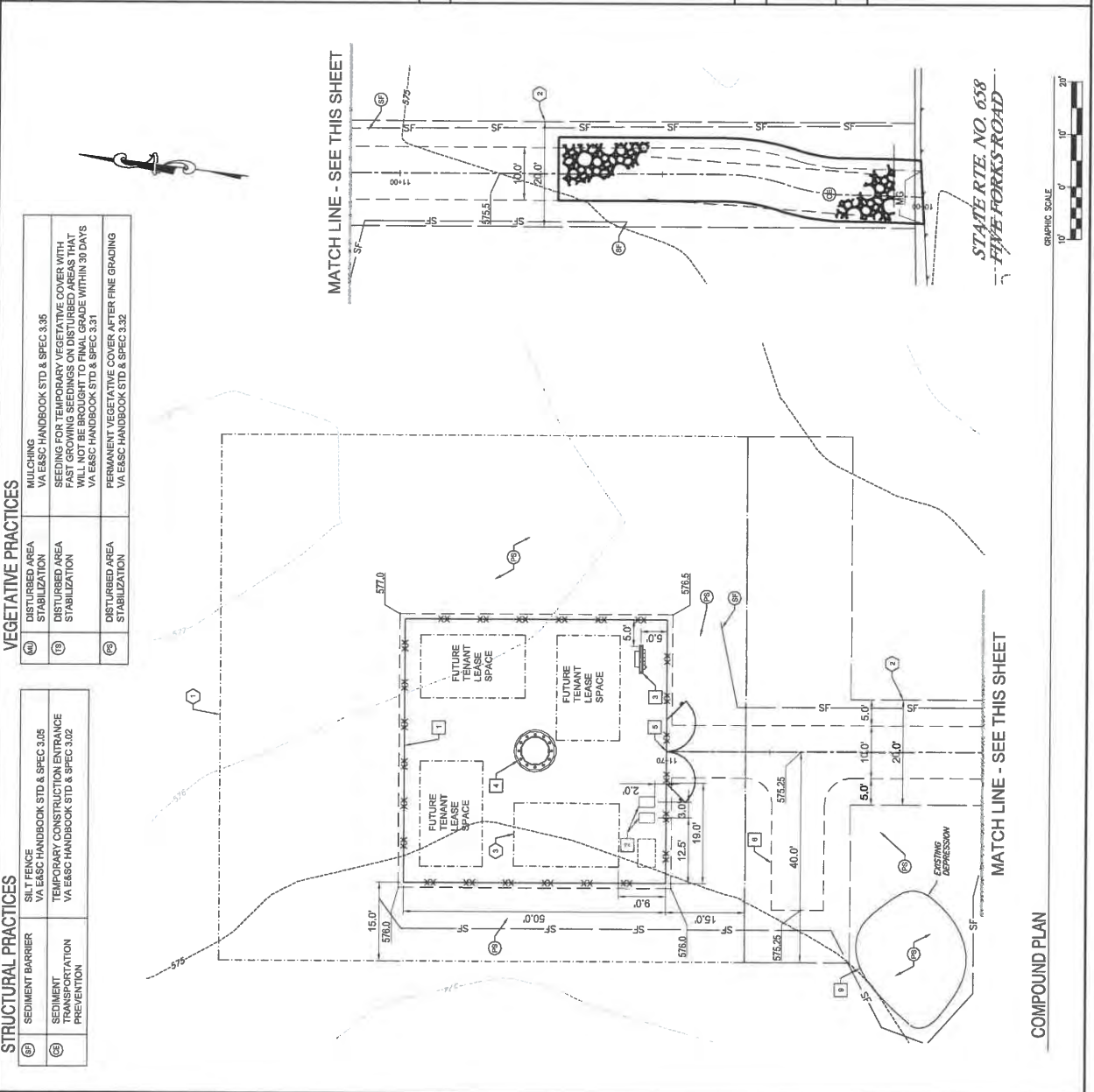
- EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH COUNTY REQUIREMENTS.
- REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL (8th EDITION) FOR STRUCTURAL AND VEGETATIVE PRACTICE REQUIREMENTS.
- TEMPORARY STOCKPILE AREAS SHALL BE SEEDDED AFTER CONSTRUCTION.
- TOTAL LIMITS OF DISTURBANCE = 7,560 SF (0.174 AC).
- CONTRACTOR SHALL LAY FILTER CLOTH AND STONE OVER AREA DISTURBED BY CONSTRUCTION. STONE SHALL BE 1.5" TO 2" IN DIAMETER STRIPPED AND SPREAD TOPSOIL PRIOR TO LEAVING EACH EVENING.
- ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD OR DRIVE SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- NO CITY REFUSE COLLECTION WILL BE PROVIDED TO THIS SITE.

LEASE NOTES

- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.
- VERIZON 12' x 20' LEASE AREA.

CONSTRUCTION NOTES

- 7' HIGH CHAIN LINK FENCE WITH 3-STRAND BARBED WIRE.
- FIBER HANDHOLE.
- 6" H-FRAME.
- NEW MONOPOLE TOWER. SEE SHEET SP-3.
- 12' WIDE DOUBLE ACCESS GATE.
- GRAVEL TURN-AROUND AND PARKING AREA.
- CONTRACTOR SHALL REPAIR EXISTING GRAVEL ROAD AND ADD BASE AND/OR SURFACE AGGREGATE AS NEEDED TO BRING ROAD IN COMPLIANCE WITH DETAIL ON SHEET SP-3.
- POWER AND FIBER CONDUIT STUB UPS FROM H-FRAME.
- TEMPORARY STOCKPILE AREA.



1448 ST ANDREWS LN
ASHLAND, VA, 23005

1210 SUITE 416 FORDS, SUITE 100
RESON, VA 22139



SITE INFO:
STOCKTON LAKE

4451 FIVE FORKS ROAD
PAMPLIN, VA
23958

DESIGN: SPP
DRAWN: MAA
REVIEW: SPP
TTY DATE: 04/19/23
COMM. NO. -

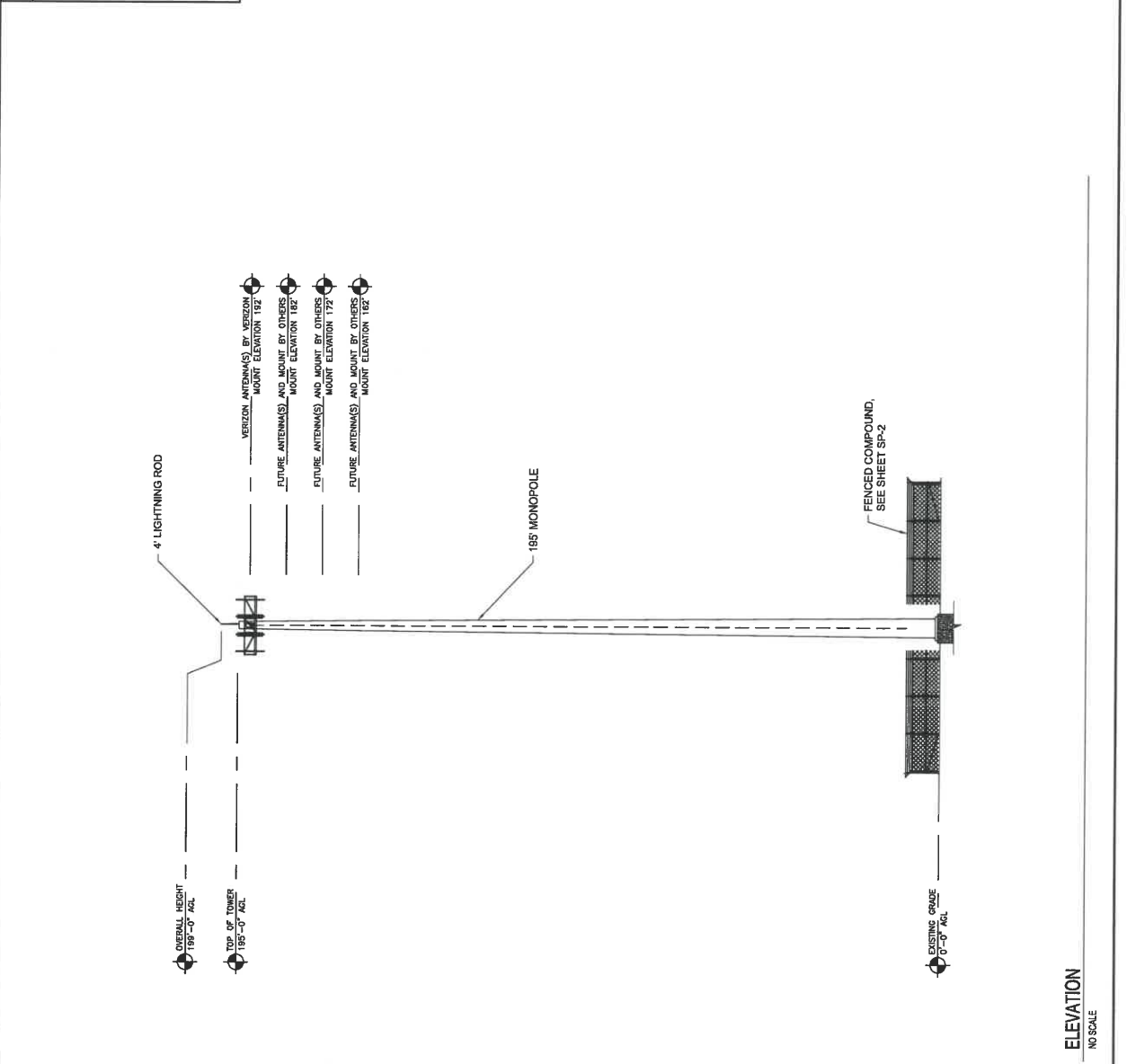
SY#	DESCRIPTION	DATE
1	REVISED	7/19/23
2	ORIG DRAWING SUBMIT	7/20/23
3	REV FOR SUBMIT	8/14/23

SHEET NAME:
ELEVATION

SHEET NO.:
SP-3

GENERAL NOTES

1. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-H REQUIREMENTS.
2. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
3. MONOPOLE AND FOUNDATION DESIGNED BY OTHERS.
4. TOWER SHALL HAVE A GALVANIZED STEEL FINISH.
5. ILLUMINATION OF TOWER IS NOT REQUIRED OR PROPOSED.

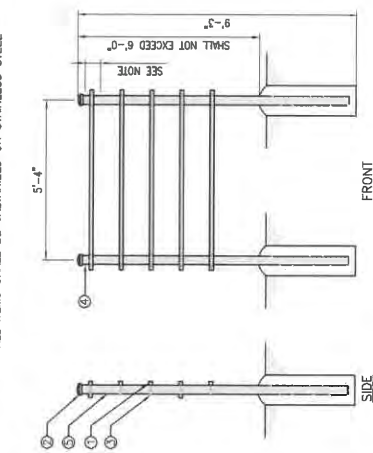


ELEVATION
NO SCALE

DESIGN:	SPP	
DRAWN:	MAA	
REVIEW:	SPP	
ISSUE DATE:	04/19/23	
COMM. NO.:	-	
SUBMITTALS		
REV#	DESCRIPTION	DATE
1	ISSUE SET	7/20/23
2	FINAL DESIGN SUBMIT	7/20/23
3	FOR YOUR REVIEW	8/14/23

ITEM#	DESCRIPTION
1	P10000 UNISTRUT, 1-5/8"x1-5/8"x8", SLOTTED
2	PIPE CAP FOR 3.5" OD PIPE, HDG
3	U-BOLT KIT, 3.5" OD (1" U-BOLT)
4	END CAP, 1-5/8" UNISTRUT
5	3/8" PIPE, 12' LONG
6	3/8" PIPE, 12' LONG

*ALL ITEMS SHALL BE GALVANIZED OR STAINLESS STEEL



NOTE: CONTRACTOR SHALL VERIFY THE QUANTITY OF UNISTRUT FOR PROPOSED EQUIPMENT SPACED TO CONSTRUCTION MANAGERS SATISFACTION.

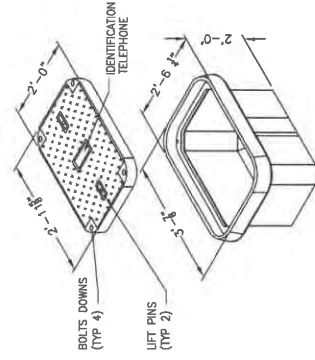
FINISH SLOPE TO DRAIN

PROPOSED 3.5" DIA. UNISTRUT PIPE GALVANIZED

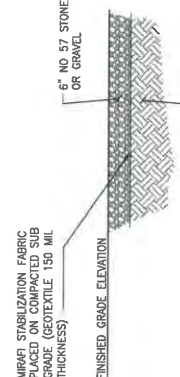
PROPOSED 12" CONCRETE PIER (TYP)

CONCRETE PIER

1
C-2
6FT H-FRAME INSTALLATION DETAIL
NO SCALE



4
C-2
HANDHOLE SECTION
NOT TO SCALE



NOTE:
1. FILL SHALL CONSIST OF CLEAN SOIL-NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.

3
C-2
GRAVEL COMPOUND DETAIL
NOT TO SCALE

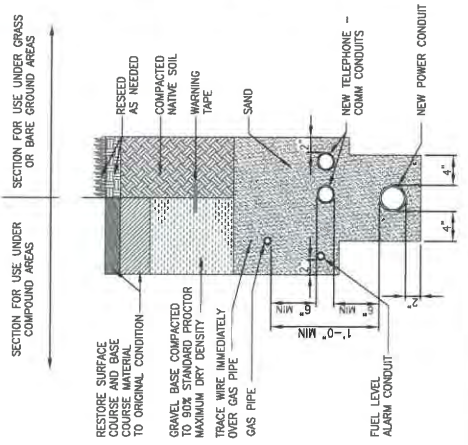
MINIMUM UTILITY DEPTHS (ADDITIONAL DEPTHS MAY BE REQUIRED TO MEET MINIMUM CLEARANCES FROM OTHER UTILITIES):

36"
18"
12"

POWER:
COMMUNICATIONS AND ALARMS:
LP GAS PIPING:

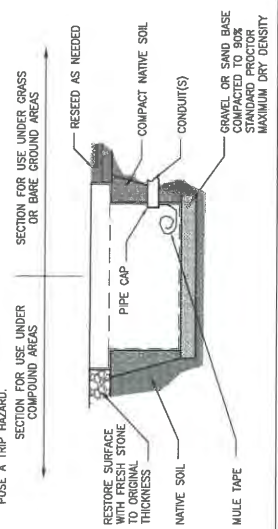
NOTE:

- IF FREE OF ORGANIC OR OTHER MATERIALS, AS PERMITTED, FILL WITH MATERIAL AS PERMITTED. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING U/G UTILITIES PRIOR TO DIGGING.
- SAND BACKFILL SHALL BE CLEAN, WASHED AND FREE OF DEBRIS OR ROCKS LARGER THAN 1/8".
- TRACING WIRE SHALL HAND DIG U/G DETECTING WIRE SHALL BE BURIED DIRECTLY ABOVE NON-METALLIC PIPING AS INDICATED IN THE CONSTRUCTION DETAILS AND APPROVED BY THE CONSTRUCTION MANAGER.



2
C-2
UTILITY TRENCH DETAIL
NOT TO SCALE

- NOTES:
- ALL STUB-UP CONDUITS INSIDE PULL BOXES WILL BE 6" FROM TOP OF BOX AND HAVE MULE TAPE AND CAPS.
 - EXCAVATION FOR HAND HOLE SHALL BE DONE BY HAND WITHIN FENCE COMPOUND.
 - INSTALLATION SHOULD BE LEVEL AND EVEN POSE A TRIP HAZARD.



SECTION FOR USE UNDER GRASS OR BARE GROUND AREAS

14488 ST ANDREW LN
ASHLAND, VA 23005

12110 SUNSET HILLS ROAD, SUITE 600
REXSDON, VA 23080

STUART P. PATTERSON
Lic. No. 041047
August 14, 2023
PROFESSIONAL ENGINEER

SITE INFO:
STOCKTON LAKE

4451 FIVE FORKS ROAD
PAMPLIN, VA
23958

DESIGN:	SPP
DRAWN:	MMA
REVIEW:	SPP
TY DATES:	04/19/23
COMM. NO. SUBMITTALS:	-
DATE:	
1. CHECK BY:	7/19/23
2. CHECK BY:	7/19/23
3. SET PLAN DATE:	6/19/23

SHEET NAME:
SIGNAGE PLAN

SHEET NO.:
C-4

IN CASE OF EMERGENCY
CALL: XXX-XXX-XXXX
SITE NAME
FCC NO. XXXXXXXX
LEASING: XXX-XXX-XXX

WHITE BACKGROUND
WITH BLACK LETTERING

FACILITY CONTACT SIGN
NO SCALE

NO
TRESPASSING

WHITE BACKGROUND
WITH BLACK LETTERING
18" H x 24" W

VIOLATORS
WILL BE PROSECUTED

NO TRESPASSING SIGN
NO SCALE

TYPE	COLOR	COLOR CODE PURPOSE	SIGN TYPES	SIGN MOUNTING LOCATIONS
RF NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).		FENCE COMPOUND DATE
RF CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).		BASE OF TOWER
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b).		N/A
FACILITY CONTACT SIGN	BLUE/GREEN/WHITE	"INFORMATIONAL SIGN" TO NOTIFY OWNERS OF SITE OWNERSHIP AND CONTACT NUMBER.		FENCE COMPOUND DATE
NO TRESPASSING	BLACK/WHITE	"NO TRESPASSING" NOTIFICATION THAT THE TOWER FACILITY IS NOT TO BE ACCESSED BY THE PUBLIC.		FENCE COMPOUND DATE
RF NOTICE 2	ORANGE/BLACK	"NOTICE" PROVIDE GUIDELINES FOR ALL GUESTS WORKING WITHIN THE TOWER FACILITY AND ON THE TOWER.		FENCE COMPOUND DATE

NOTES:

- FOR MILESTONE TOWERS LOGO, SEE MILESTONE TOWERS DESIGN SPECIFICATIONS (PROVIDED BY MILESTONE TOWERS).
- SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (MILESTONE TOWERS APPROVAL REQUIRED).
- TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER MILESTONE TOWERS CONSTRUCTION MANAGER RECOMMENDATIONS.
- ALL SIGNS WILL BE SECURED WITH ZIP TIES OR STAINLESS STEEL TECH SCREWS.

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

ORANGE BACKGROUND WITH BLACK LETTERING
12" W x 18" H

RF NOTICE SIGN 2
NO SCALE

NOTICE

Radio Frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments. Use frequency monitors (FCC E-1307(b)).

BLUE BACKGROUND WITH WHITE LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

12" W x 18" H

RF NOTICE SIGN
NO SCALE

CAUTION

On this tower:
Radio frequency fields near some antennas may exceed FCC rules for human exposure.
Personnel climbing this tower should be trained for working in radio frequency environments and use a personal RF monitor while working near active antennas. Use frequency monitors (FCC E-1307(b)).

YELLOW BACKGROUND WITH BLACK LETTERING

YELLOW BACKGROUND WITH BLACK LETTERING

WHITE BACKGROUND WITH BLACK LETTERING

12" W x 18" H

RF CAUTION SIGN
NO SCALE



1448 ST ANDREW LN
ASHLAND, VA 22005



1210 SUNSET HILLS ROAD, SUITE 600
RESTON, VA 20190



SITE INFO:
STOCKTON LAKE

4451 FIVE FORKS ROAD
PAMPLIN, VA
23068

DESIGN:	SPP	DATE:
DRAWN:	MAA	7/19/23
REVIEW:	SPP	7/19/23
TY DATE:	04/19/23	8/14/23
COMM. NO.		
SUBMITTALS		
NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	7/19/23
2	ISSUE FOR PERMITS	7/19/23
3	ISSUE FOR PERMITS	8/14/23

SHEET NAME:
LANDSCAPE PLAN

SHEET NO:
L-1

GENERAL NOTES

- FOR LEGEND, PROJECT DATA, AND PROJECT NOTES SEE COVER SHEET AND SPP SHEETS.
- VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED AND SEEDED TO RESTORE A PERMANENT VEGETATIVE COVER. SEE SEEDING SCHEDULES ON SHEET L-2.
- IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL GOVERN. SUBSTITUTIONS MUST BE COORDINATED WITH THE COUNTY OF GLOUCESTER AND THE OWNER.

SHEET NOTES

- LANDSCAPE SHEETS ARE FOR LANDSCAPING PURPOSES ONLY. SEE SHEETS FROM OTHER DISCIPLINES, I.E. CIVIL, ELECTRICAL, ARCHITECTURAL, ETC., FOR THE MOST CURRENT INFORMATION PERTAINING TO THOSE DISCIPLINES.
- AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE PLANTED OR COVERED IN SITE CONTRACT ARE TO BE SODDED OR SEEDED WITH A STATE CERTIFIED TURF TYPE TALL FESCUE. SEE SHEET L-2 FOR SEEDING SCHEDULES.

LEASE NOTES

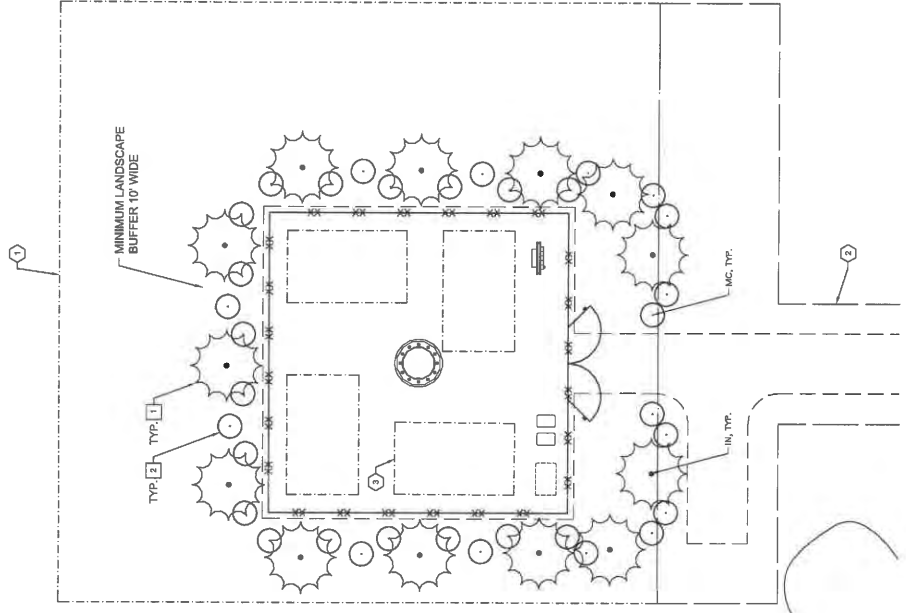
- 100' x 100' LEASE AREA.
- 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT.
- VERIZON 12' x 20' LEASE AREA.

CONSTRUCTION NOTES

- SHRUB, TYP. SEE PLANT SCHEDULE THIS SHEET. SEE DETAIL, SHEET L-2.
- TREE, TYP. SEE PLANT SCHEDULE THIS SHEET. SEE DETAILS, SHEET L-2.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	REMARKS
	IN	13	Red x 'Nella R. Stewart'	Nella R. Stewart Holly	2' Cal.	BARBICONT.	6' MIN.	PLANT AS SHOWN ON PLANTING PLAN. SEE SPP SHEET L-2 FOR SPACING & LOC.
	LARGE SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	REMARKS
	MC	54	Myrica aspera	Wax Myrtle	7 gal.	BARBICONT.	38"-42"	PLANT AS SHOWN ON PLANTING PLAN. MAX. SPACING 8' O.C.



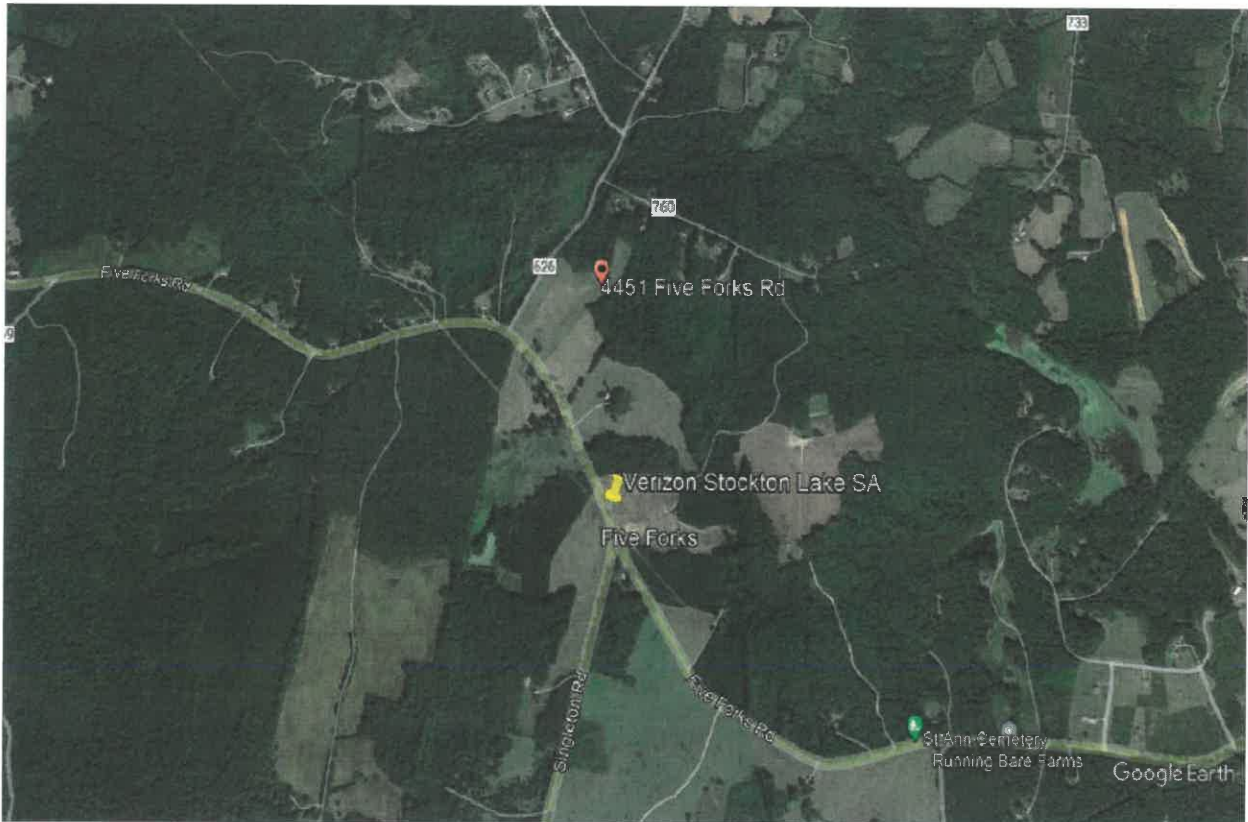
LANDSCAPE PLAN

Exhibit “2”

Milestone Towers: Stockton Lake

Alternative Candidate Analysis

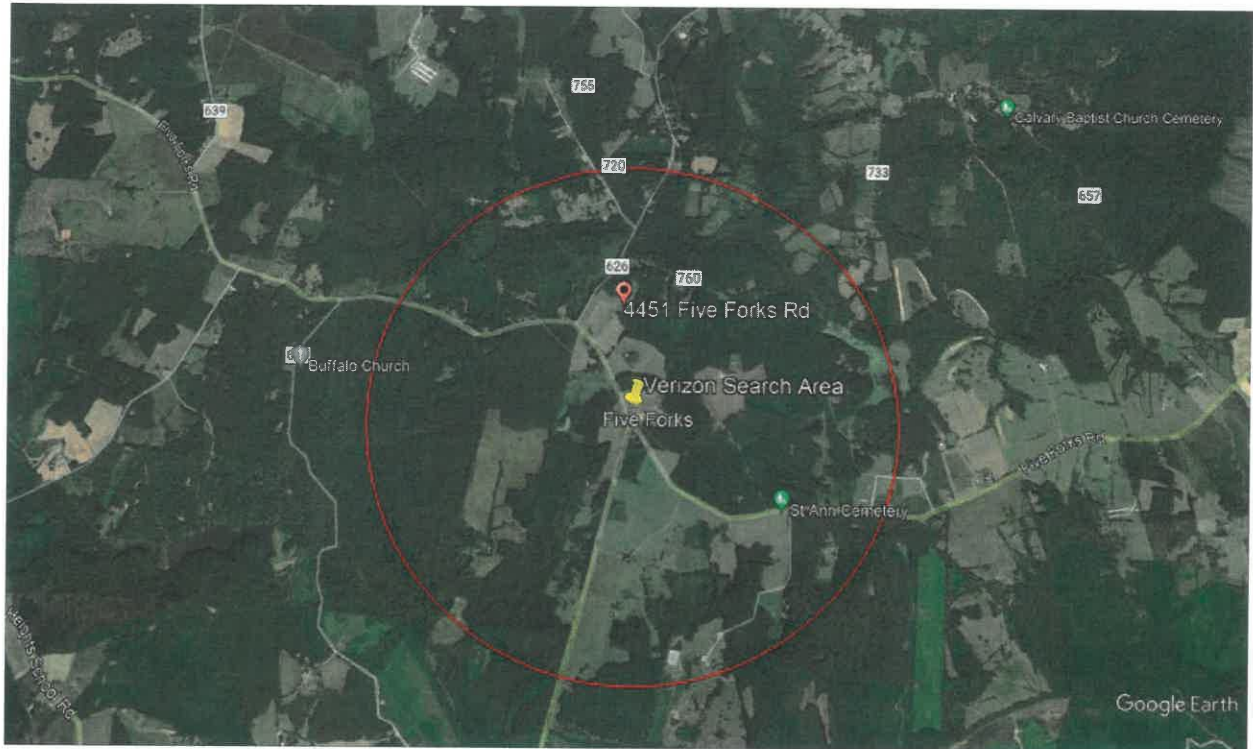
Milestone Towers submits this document to address alternative candidates it considered during its selection process. Milestone Towers has a specific built to suit tower project from Verizon in the area along 4451 Five Forks Road, Pamplin, VA with a requested antenna centerline of 192' on a new 195' monopole.



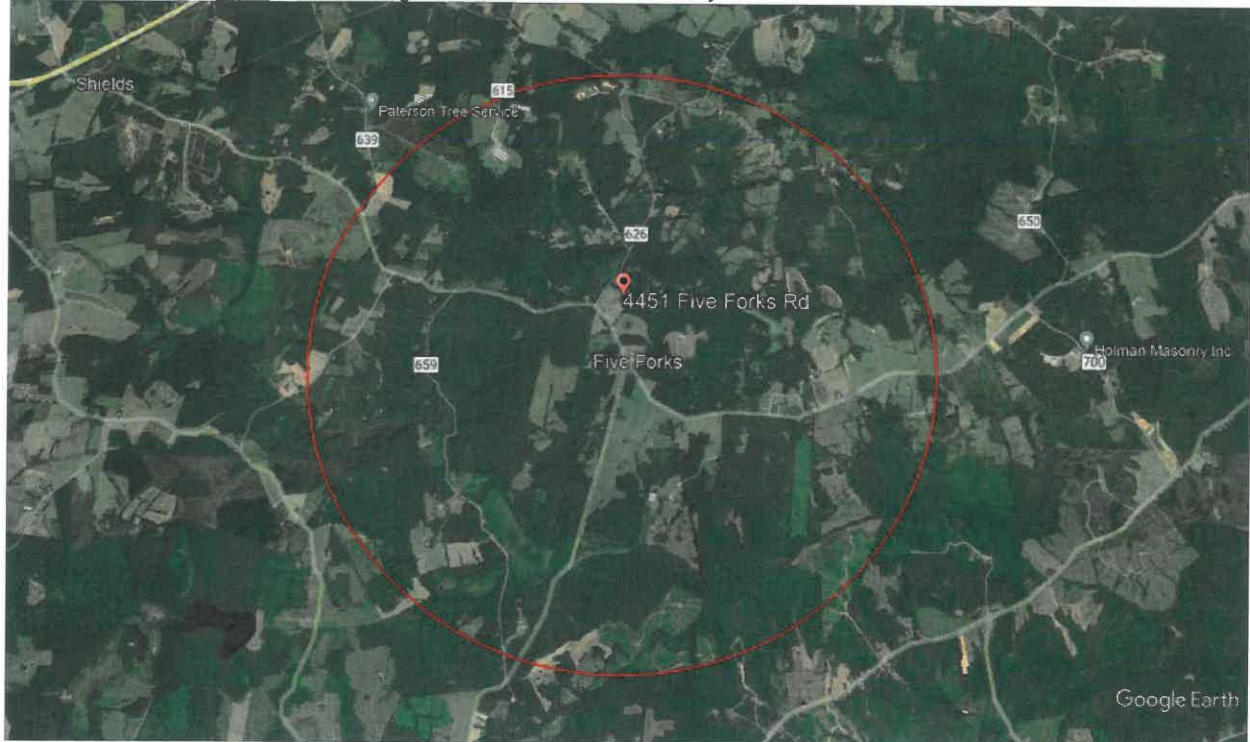
Existing Structures in the Search Ring

Milestone Towers was able to confirm there are no existing towers, or other structures taller than 150 ft. in height within the vicinity of the specified search ring, nor within both a 1 mile & 2 mile radius distance outside of the search ring.

1 Mile Radius (Zero Existing Towers & Structures)

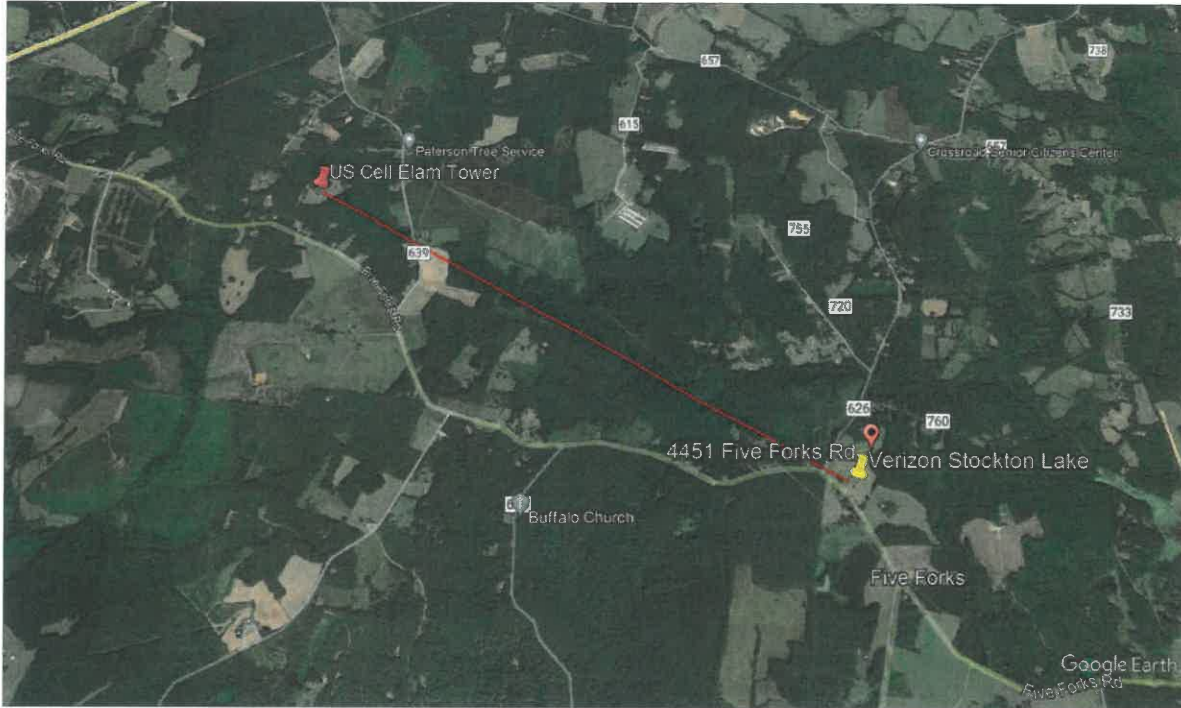


2 Mile Radius (Zero Existing Towers & Structures)

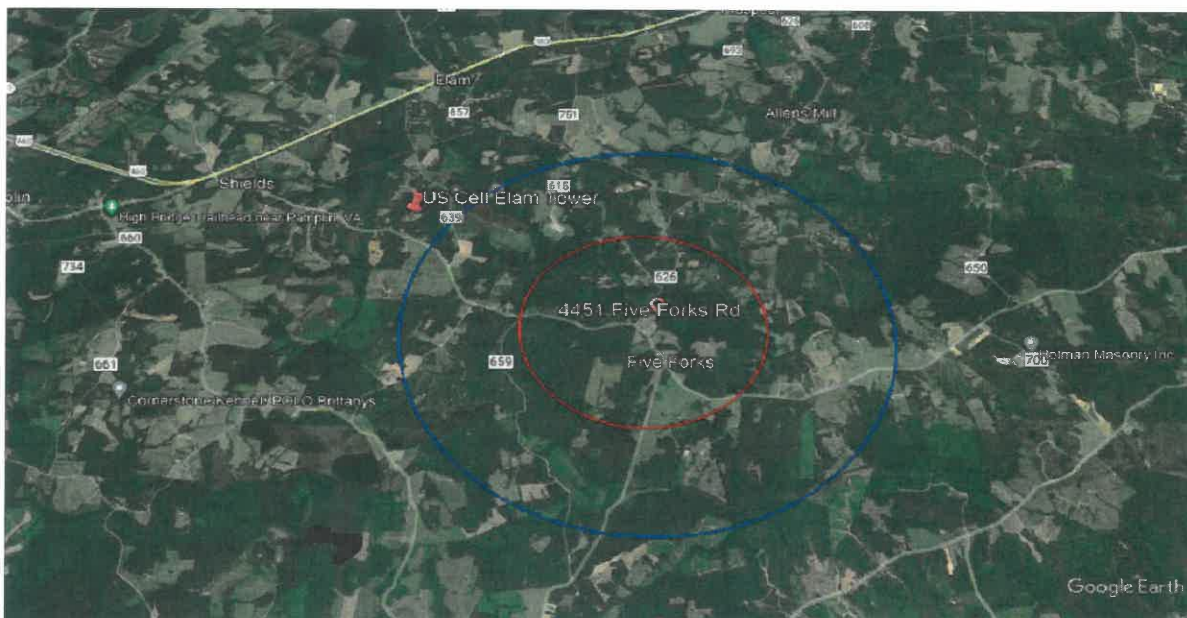


Existing Structures outside of the Search Ring

Milestone Towers then located the nearest existing tower location, (1) one U.S. Cellular tower named Elam 2.334 miles NW from the search area & it's too far away to provide any coverage for the search area:



This map illustrates a 1 mile & 2 mile radius from the proposed search ring center, and as shown on the map, there are no existing towers. The closest tower is 2.334 miles to the NW of the search ring and will not cover the intended area.



Conclusion

As noted above, there are no existing structures of sufficient height within the described search ring, and as noted above, the existing tower to the NW is 2.334 miles away and too far to cover the intended coverage area. Milestone Towers has leased a property from Robert Alton Gaunce whose property will be developed in accordance to County regulations.

I certify that the foregoing is true and correct:

Matt Penning, on behalf of Milestone Towers

Exhibit “3”

Ken Patterson

Airspace Consulting, Inc.

www.airspace-ken.com

Site ID: Stockton Lake

August 1, 2023

To Whom It May Concern:

On August 1, 2023, I personally conducted an evaluation of a proposed telecommunications site for Milestone Towers. The study was to determine if the proposed structure would create any adverse effect on navigable airspace. The site is located near Pamplin, Virginia at 37° 14' 33.81" North and 78° 34' 46.04" West (NAD 83). The site elevation is 577' above mean sea level (AMSL). The proposed structure height is 199' above ground level (AGL) or 776' AMSL. Part 77 of the Federal Air Regulations and Part 17 of the FCC Rules and Regulations were used as the primary reference for this evaluation.

The closest public use or DOD landing surface is Runway 03 at Farmville Regional Airport. The distance to the runway is 9.33 nautical miles on a true bearing of 225.55° from the runway.

The proposed 199' AGL (776' AMSL) structure would not exceed any FAR Part 77 or FCC Part 17 notice requirement and, therefore, notice to the FAA is not required for this structure. If filed, the 199' AGL structure should be approved by the FAA.

Normally, structures that do not require notice to the FAA do not require marking and/or lighting. Private use landing facilities and AM broadcast stations are not a factor for this study.

For additional information or questions about this study, contact my office anytime.

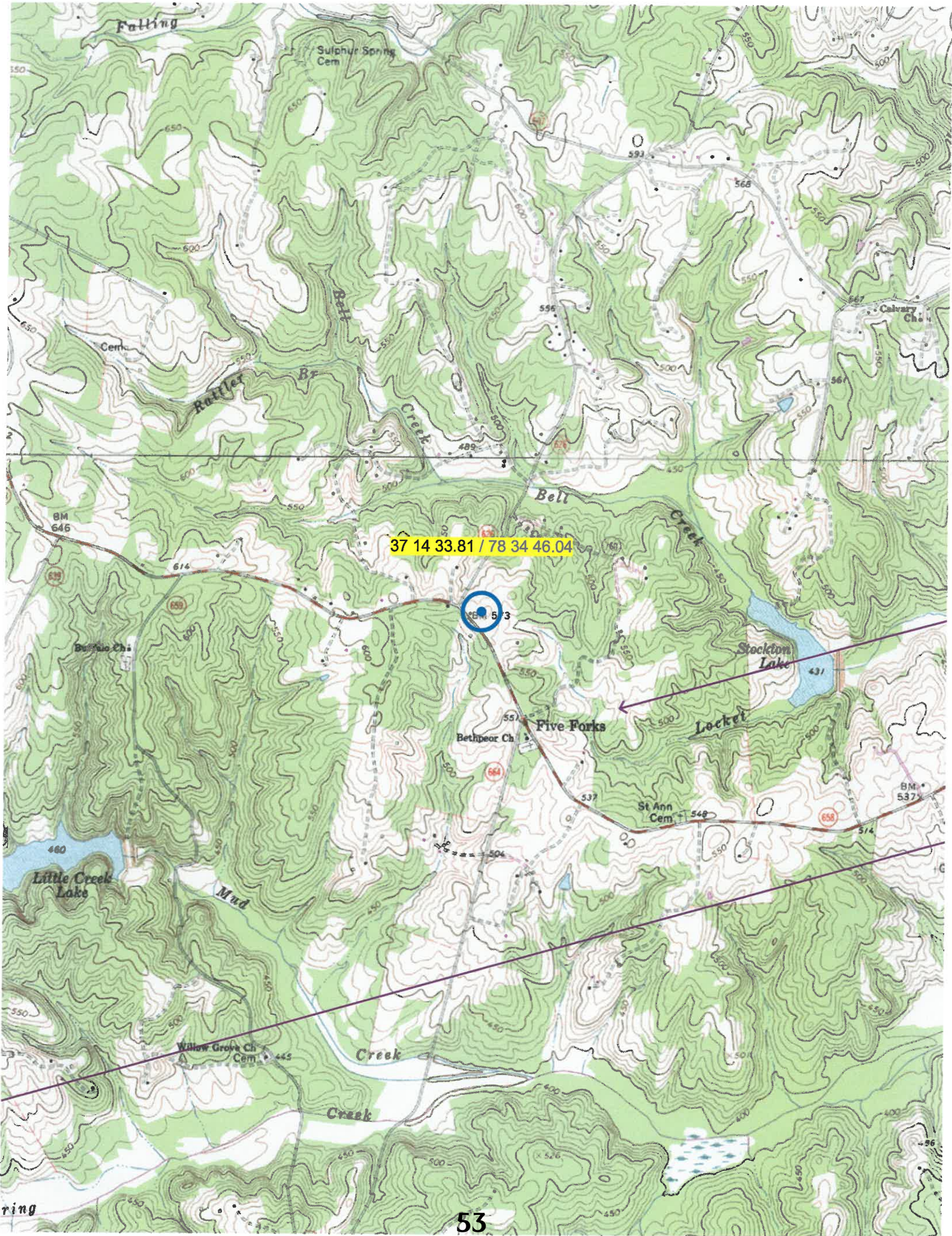
Sincerely,



Ken Patterson

KP15937

150 Discovery Lake Dr, Fayetteville, GA 30215
(770) 461-0563 kpac0@bellsouth.net



37 14 33.81 / 78 34 46.04



Exhibit “4”

**FCC Form 854
Main Form**

Approved by OMD – 3060-0139
See instructions for public burden estimate

Application for Antenna Structure Registration

Purpose of Filing

1) Enter the application purpose: (NE)	
AM – Amendment of a Pending Application AU – Administrative Update CA – Cancellation of an Antenna Structure Registration DI – Notification of an Antenna Structure Dismantlement MD – Modification of a Antenna Structure Registration	NE – Registration of a New Antenna Structure NT – Required Construction/Alteration Notification OC – Ownership Change RE – Registration of a Replacement Antenna Structure WD – Withdrawal of a Pending Application
2a) If the answer to 1 is AU, CA, DI, MD, NT, OC or RE, provide the FCC Antenna Structure Registration (ASR) Number.	FCC ASR Number:
2b) If the answer to 1 is AM or WD, provide the File Number of the pending application on file.	File Number:
2c) If the answer to 1 is MD or NT, provide the date the Antenna Structure was constructed or the date it was last altered (mm/dd/yyyy).	Date:
2d) If the answer to 1 is DI, provide the date the Antenna Structure was dismantled (mm/dd/yyyy).	Date:

Antenna Structure Ownership Information

3) Select one of the entity types:			
() Individual	() Unincorporated Association	() Trust	() Government Entity
() Corporation	(X) Limited Liability Company	() General Partnership	() Limited Partnership
() Consortium	() Limited Liability Partnership	() Other: _____	
4) FCC Registration Number (FRN): 0005523832		5) Assignor FCC Registration Number (FRN):	
6) First Name (if individual):	MI:	Last Name:	Suffix:
7) Legal Entity Name (if not an individual): Milestone Towers			
8) Attention To: Matt Penning		9) P.O. Box:	And/Or
10a) Street Address 1: 12110 Sunset Hills Road Ste. 600		10b) Street Address 2:	
11) City: Reston	12) State: VA	13) Zip Code: 20190	
14) Telephone Number (xxx-xxx-xxxx): (703) 620-2555		15) Fax Number: (xxx-xxx-xxxx):	
16) E-mail Address: matt@milestonetowers.com			

Contact Representative Information

17) First Name (if individual):	MI:	Last Name:	Suffix:
18) Business Name: Milestone Towers			
19) Attention To: Matt Penning	20) P.O. Box		And/Or
21a) Street Address 1: 12110 Sunset Hills Road Ste. 600		21b) Street Address 2:	
22) City: Reston	23) State: VA	24) Zip Code: 20190	
25) Telephone Number (xxx-xxx-xxxx): (703) 620-2555		26) Fax Number: (xxx-xxx-xxxx):	
27) E-mail Address: matt@milestonetowers.com			

Antenna Structure Information

28a) Latitude (DD-MM-SS.S): 37- 14- 33.8	28b) North or South: North			
29a) Longitude (DDD-MM-SS.S): 078- 34- 46.0	29b) East or West: West			
30) Street Address or Geographic Location: 4451 FIVE FORKS ROAD	31) City: PAMPLIN			
32) County: PRINCE EDWARD	33) State: VIRGINIA	34) Zip Code: 23958		
35) Elevation of site above mean sea level (meters):		175.7 meters		
36) Overall height above ground level (AGL) of the supporting structure without appurtenances:		59.4 meters		
37) Overall height above ground level (AGL) of the antenna structure including all appurtenances:		60.7 meters		
38) Overall height above mean sea level (add items 35 and 37 together):		236.4 meters		
39a) Enter the type of structure on which the antenna will be mounted: (MTOWER)				
<table border="0"> <tr> <td style="vertical-align: top;"> B – Building BANT – Building with Antenna on Top BMAST – Building with Mast BPIPE – Building with Pipe BPOLE – Building with Pole BRIDG – Bridge BTWR – Building with Tower GTOWER – Guyed Structure Used For Communication Purposes LTOWER – Lattice Tower MAST – Mast MTOWER – Monopole NNGTANN – Guyed Tower Array </td> <td style="vertical-align: top;"> NNLTANN – Lattice Tower Array NNMTANN – Monopole Array PIPE – Any type of Pipe POLE – Any type of Pole RIG – Oil or Other Type of Rig SIGN – Any type of Sign or Billboard SILO – Any type of Silo STACK – Smoke Stack TANK – Any type of Tank (water, gas, etc.) TREE – When used as a support for an antenna UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.) </td> </tr> </table>			B – Building BANT – Building with Antenna on Top BMAST – Building with Mast BPIPE – Building with Pipe BPOLE – Building with Pole BRIDG – Bridge BTWR – Building with Tower GTOWER – Guyed Structure Used For Communication Purposes LTOWER – Lattice Tower MAST – Mast MTOWER – Monopole NNGTANN – Guyed Tower Array	NNLTANN – Lattice Tower Array NNMTANN – Monopole Array PIPE – Any type of Pipe POLE – Any type of Pole RIG – Oil or Other Type of Rig SIGN – Any type of Sign or Billboard SILO – Any type of Silo STACK – Smoke Stack TANK – Any type of Tank (water, gas, etc.) TREE – When used as a support for an antenna UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)
B – Building BANT – Building with Antenna on Top BMAST – Building with Mast BPIPE – Building with Pipe BPOLE – Building with Pole BRIDG – Bridge BTWR – Building with Tower GTOWER – Guyed Structure Used For Communication Purposes LTOWER – Lattice Tower MAST – Mast MTOWER – Monopole NNGTANN – Guyed Tower Array	NNLTANN – Lattice Tower Array NNMTANN – Monopole Array PIPE – Any type of Pipe POLE – Any type of Pole RIG – Oil or Other Type of Rig SIGN – Any type of Sign or Billboard SILO – Any type of Silo STACK – Smoke Stack TANK – Any type of Tank (water, gas, etc.) TREE – When used as a support for an antenna UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)			
39b) Number of Towers in Array:	39c) Position of this Tower in the Array:			
40a) Array Center Latitude (DD-MM-SS.S):	40b) North or South			
41a) Array Center Longitude (DDD-MM-SS.S):	41b) East or West:			

Proposed Marking and/or Lighting

42) Enter the proposed marking and/or lighting: (1)
 See Form 854 Item 42 Instructions for detailed tier and lighting information.

1) None	4) FAA Style B	7) FAA Style E
2) Paint Only	5) FAA Style D	8) FAA Style F
3) Other _____	6) FAA Style C	9) FAA Style A
		10) FAA Style G

FAA Notification

43) FAA Study Number:	44) Date Issued:
-----------------------	------------------

Environmental Compliance

45) Does the applicant request a waiver of the Commission's rules for environmental notice prior to construction due to an emergency situation?	(No) Yes or No
46a) If the answer to 45 is No, is another federal agency taking responsibility for environmental review of the Antenna Structure?	(No) Yes or No
46b) If the answer to 46a is Yes, indicate why: 1) The Antenna Structure is on Federal Land and the landholding agency is taking responsibility for the environmental review of the Antenna Structure. 2) Another federal agency has agreed with the FCC in writing to take responsibility for the environmental review of the Antenna Structure.	() 1 or 2
46c) If the answer to 46a is Yes, provide the name of the federal agency taking responsibility for the environmental review of the Antenna Structure.	Name:
47) If the answers to 45 and 46a are No, provide the National Notice Date for the application to be posted on the FCC's website (mm/dd/yyyy).	Date: 08/14/2023
48) Is the applicant submitting an environmental assessment?	(No) Yes or No
49) Does the applicant certify that grant of Authorizations at this location would not have a significant environmental effect pursuant to Section 1.1307 of the FCC's rules?	() Yes or No
50) If the answer to 49 is Yes, select the basis for this certification. 1) The construction is exempt from environmental notification (other than due to another agency's review) and it does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules? 2) The construction is exempt from environmental notification due to another agency's review, and the other agency has issued a Finding of No Significant Impact. 3) The environmental notification has been completed, and the FCC has notified the applicant that an Environmental Assessment is not required under Section 1.1307(c) or (d) of the FCC's rules, and the Construction does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules. 4) The FCC has issued a Finding of No Significant Impact.	() 1, 2, 3, 4
51) If the answer to 50 is 3 or 4, enter the date that Local Notice was provided (mm/dd/yyyy).	Date:

Certification Statements

- 1) The applicant certifies that all statements made in this application and in the exhibits, attachments, or documents incorporated by reference are material, are part of this application, and are true, complete, correct, and made in good faith.
- 2) The applicant certifies that neither the applicant nor any other party to the application is subject to a denial of Federal benefits pursuant to Section 5301 of the Anti-Drug Abuse Act of 1988, 21 U.S.C. § 862, because of a conviction for possession or distribution of a controlled substance. See Section 1.2002(b) of the rules, 47 CFR § 1.2002(b), for the definition of "party to the application" as used in this certification.

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignee)

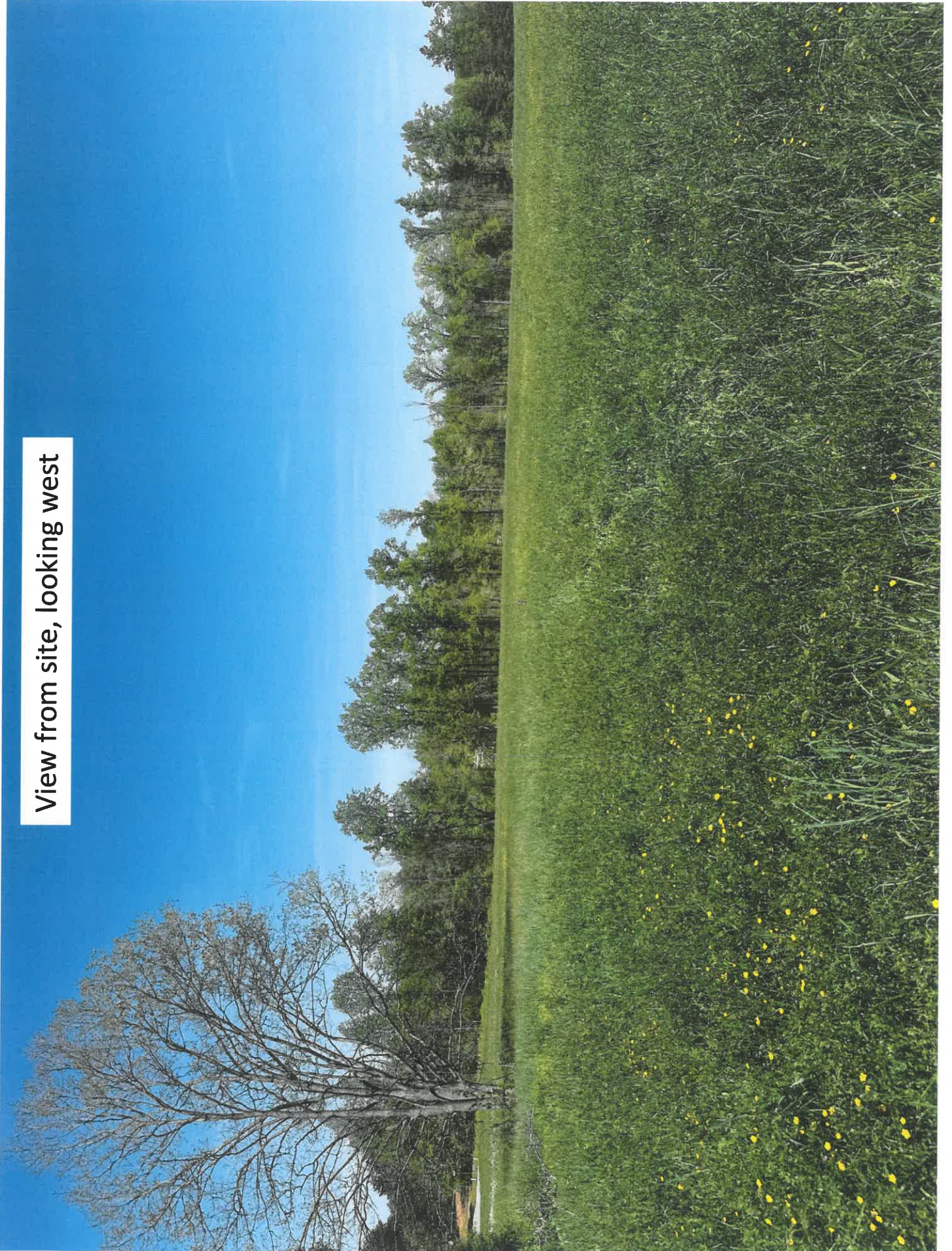
52) First Name: COLLEEN	MI:	Last Name: KHAN	Suffix:
53) Title: AGENT			
54) Signature: COLLEEN KHAN			55) Date: Aug 11, 2023

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignor)

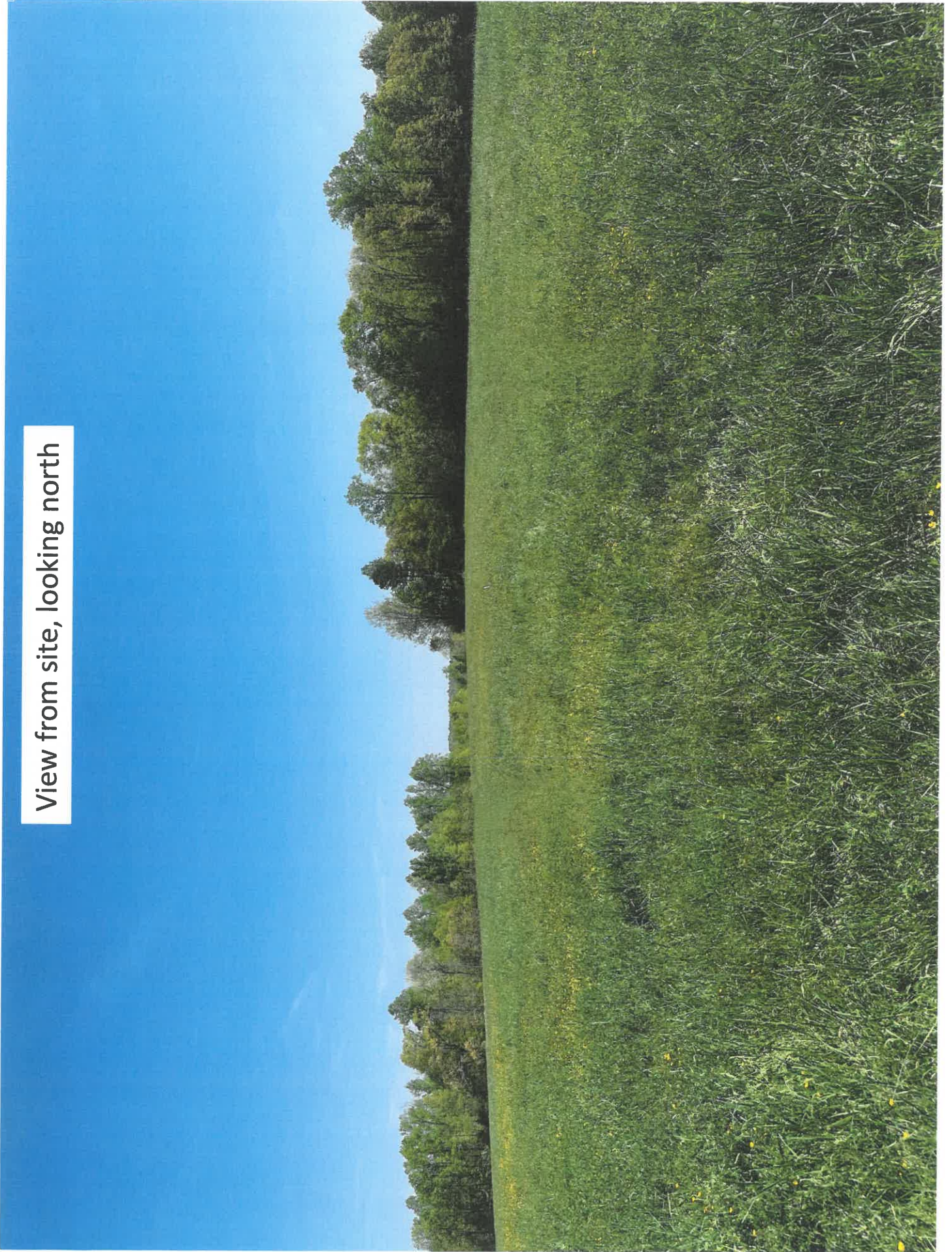
56) First Name:	MI:	Last Name:	Suffix:
57) Title:			
58) Signature:			59) Date:

Exhibit “5”

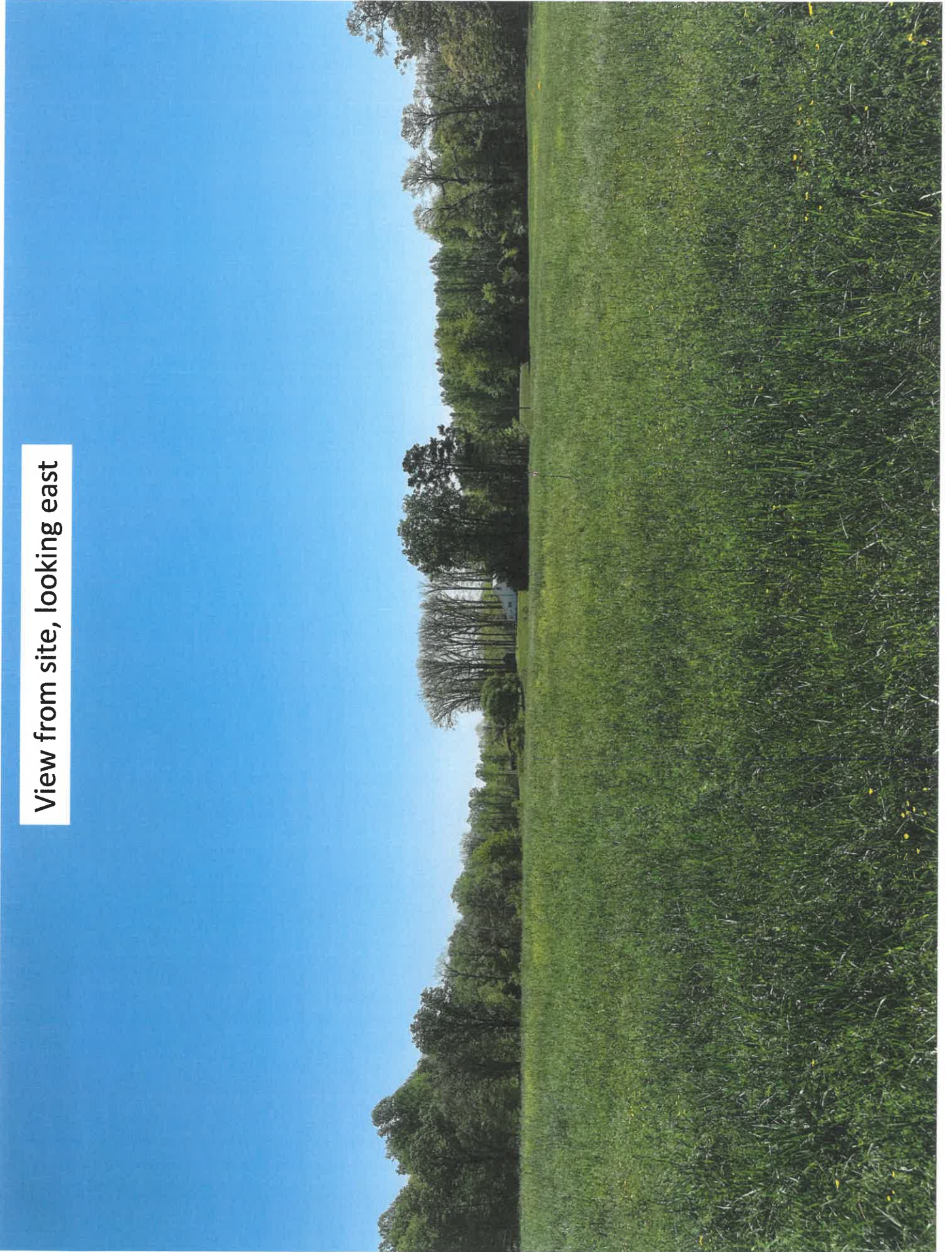
View from site, looking west

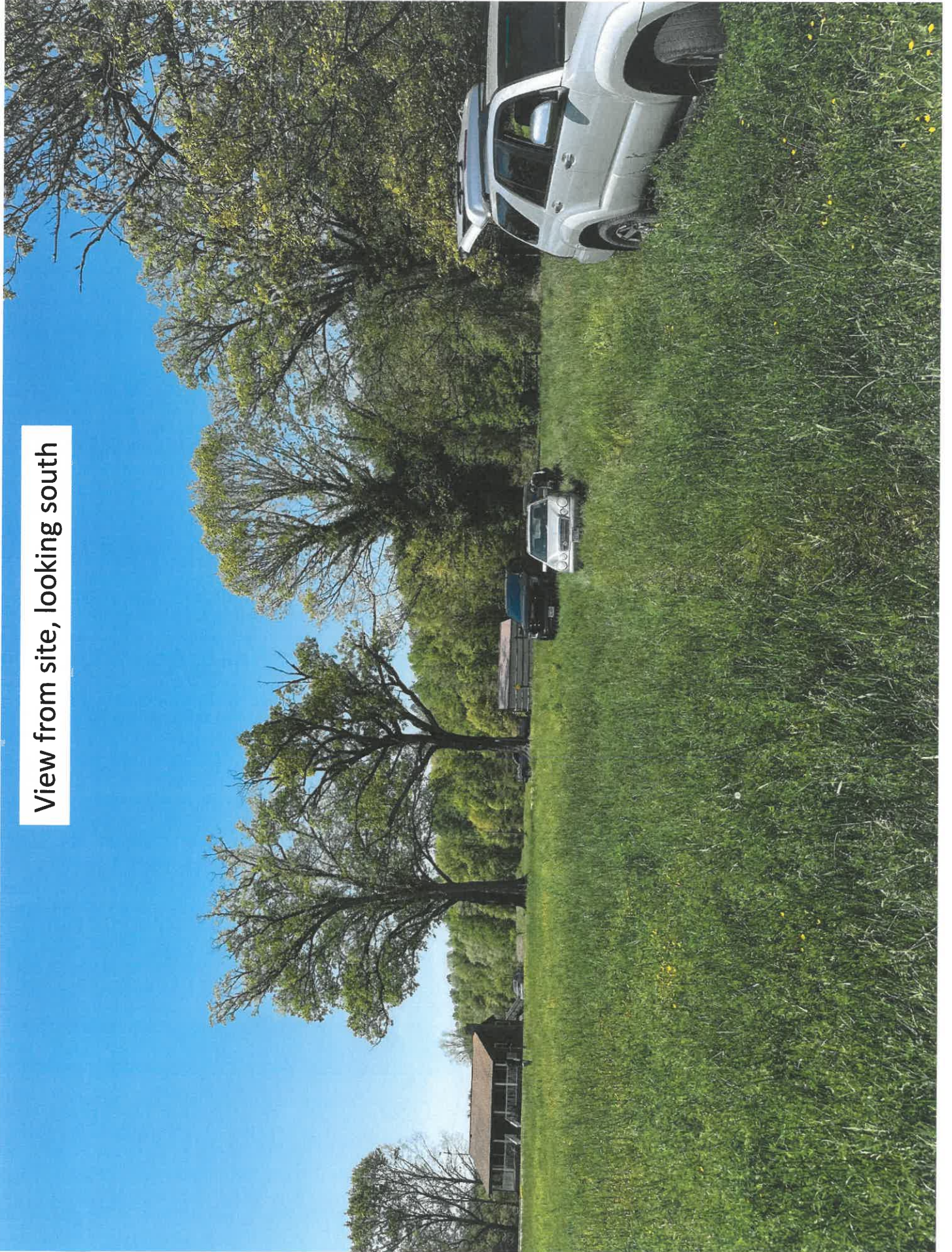


View from site, looking north

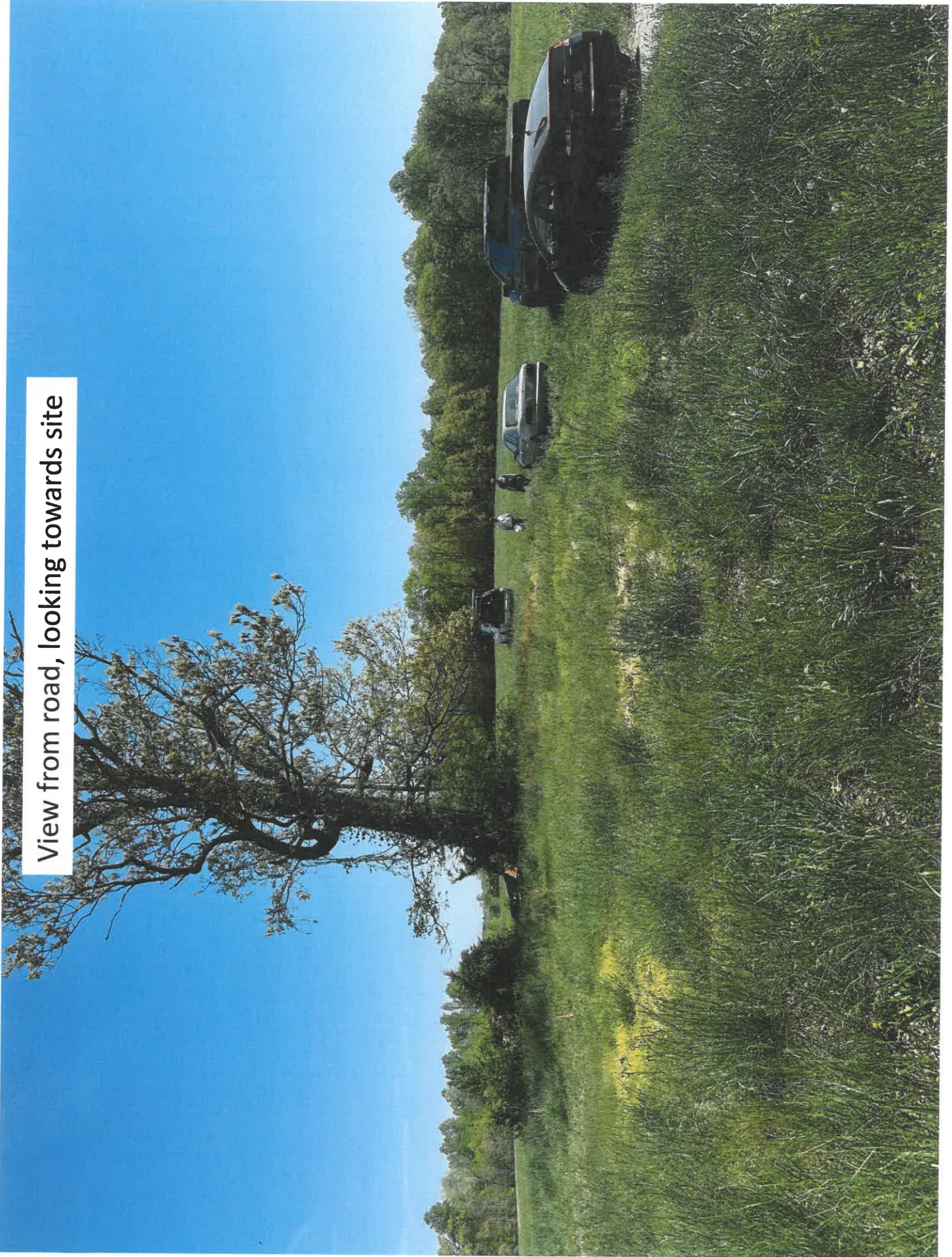


View from site, looking east





View from site, looking south



View from road, looking towards site

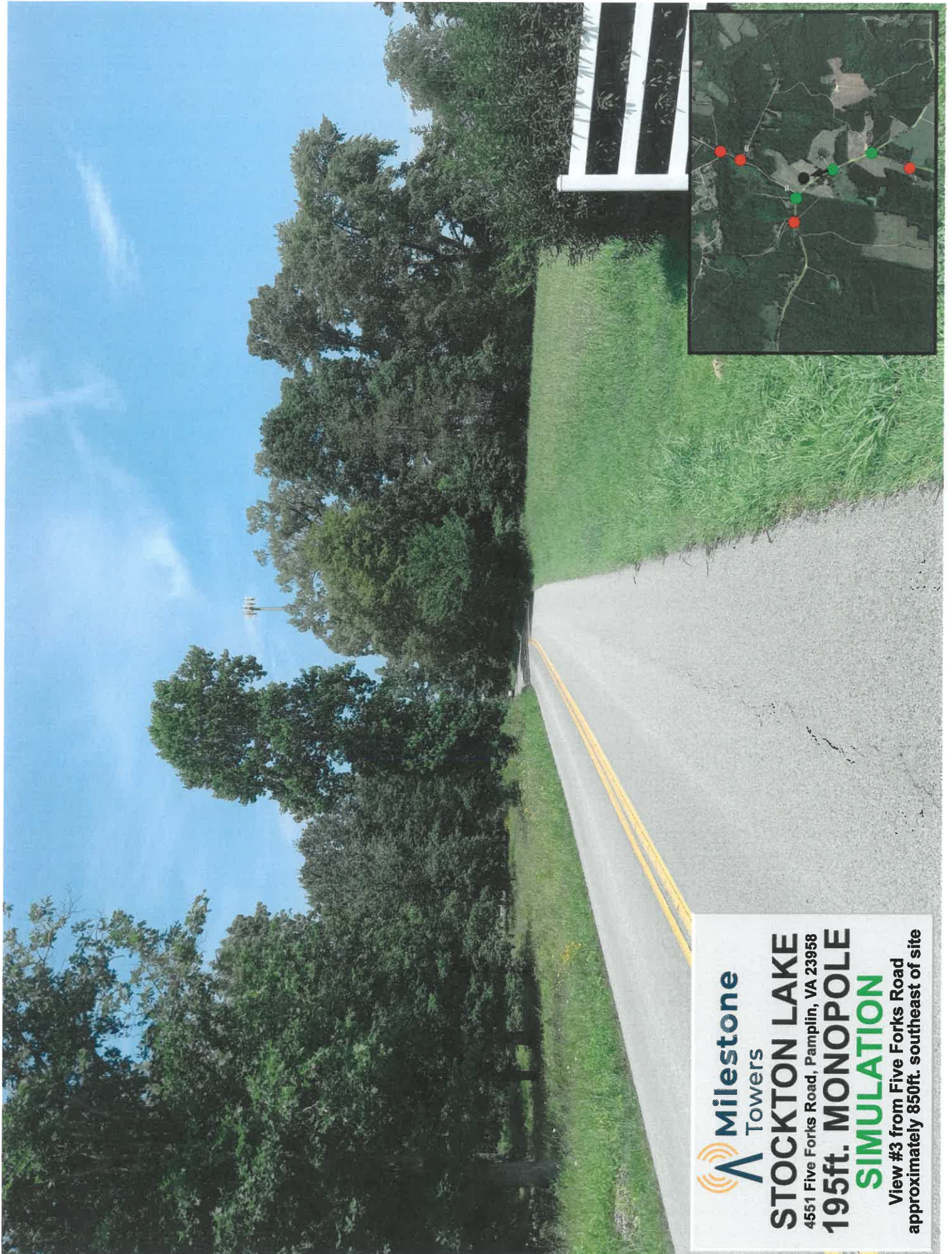
Exhibit “6”



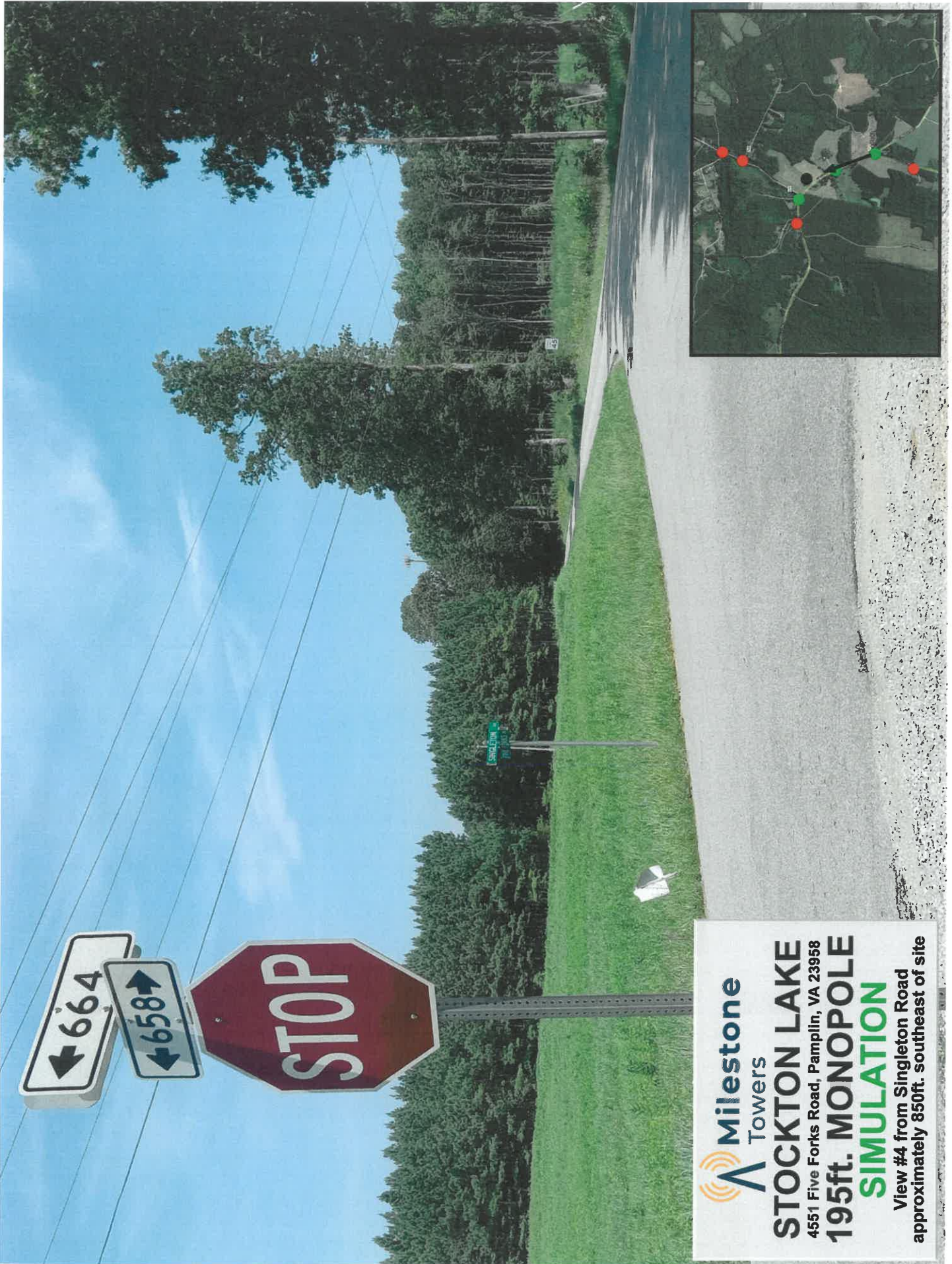
 **Milestone Towers**
STOCKTON LAKE
4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
NOT VISIBLE
View #1 from Rattlers Branch Road
approx. 2,470ft. north-northeast of site



 **Milestone Towers**
STOCKTON LAKE
4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
NOT VISIBLE
View #2 from Mitchell Road
approx. 1,880ft. north-northeast of site




Milestone Towers
STOCKTON LAKE
4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
SIMULATION
View #3 from Five Forks Road
approximately 850ft. southeast of site

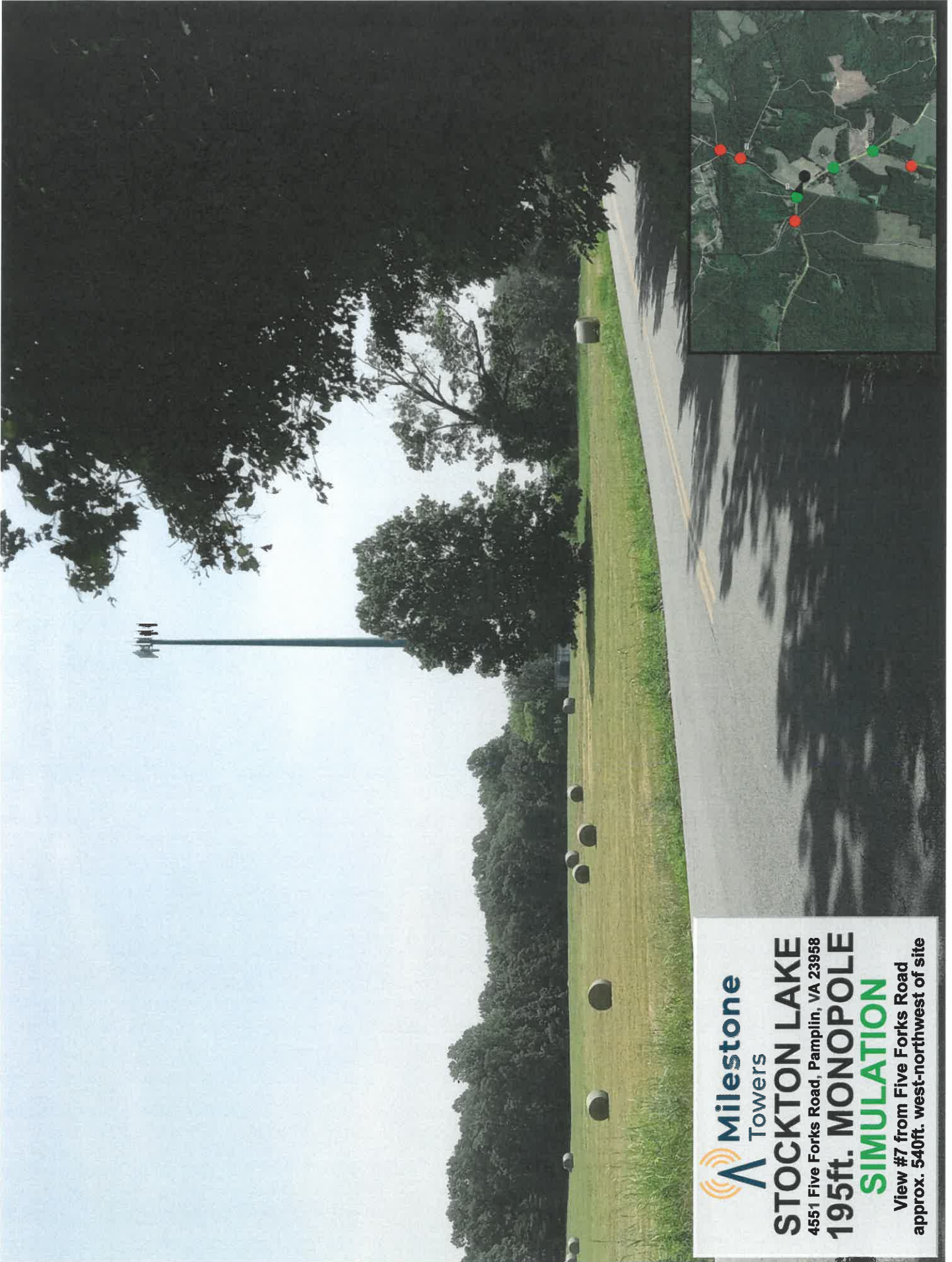



Milestone Towers
STOCKTON LAKE
 4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
SIMULATION
 View #4 from Singleton Road
 approximately 850ft. southeast of site




Milestone
 Towers
STOCKTON LAKE
 4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
NOT VISIBLE
 View #5 from Singleton Road
 approximately 3,015ft. south of site





Milestone
Towers
STOCKTON LAKE
4551 Five Forks Road, Pamplin, VA 23958
195ft. MONOPOLE
SIMULATION
View #7 from Five Forks Road
approx. 540ft. west-northwest of site

Exhibit “7”



Structural Design Report
195' Monopole
Site: Stockton Lake, VA

Prepared for: MILESTONE COMMUNICATIONS, INC.
by: Sabre Industries™

Job Number: 24-1398-JDS

August 11, 2023

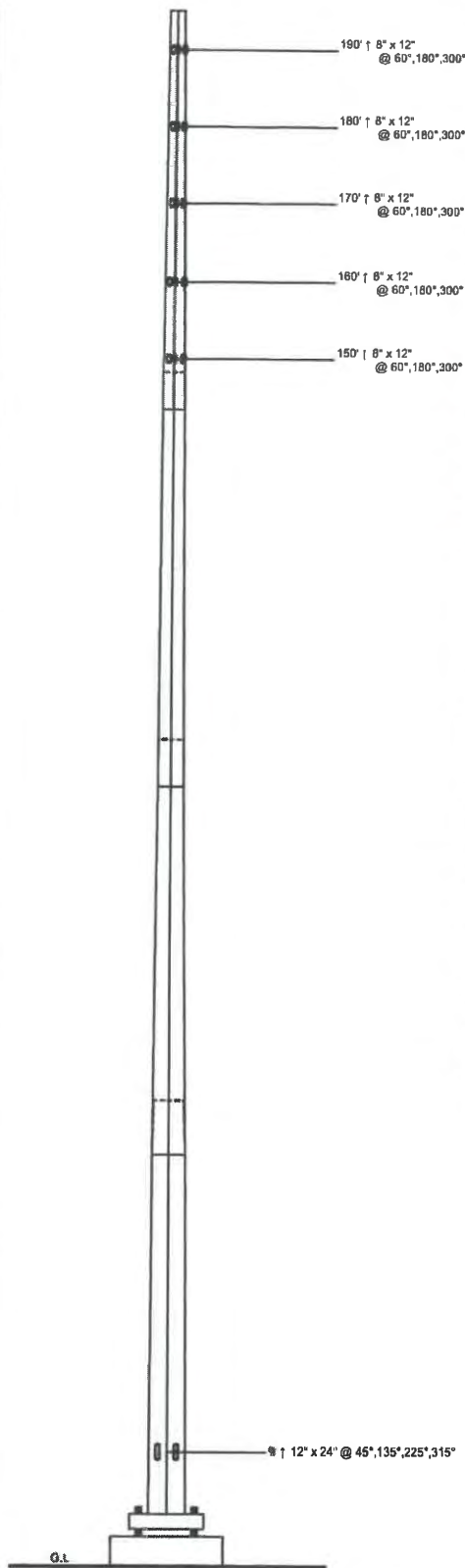
Monopole Profile.....	1
Pole Calculations.....	2-15



8/11/23

Digitally Signed By Keith Tindall
DN: c=US, st=Texas,
l=Alvarado, o=SABRE
INDUSTRIES, INC., cn=Keith
Tindall,
email=kjtindall@sabreindustries
.com Date: 2023.08.11
15:26:12

Length (ft)	53'-3"	53'-6"	51'-8"
# of Sides	18		
Mass (in)	1/2"	7/16"	1/4"
Lap Splice (ft)		7'-0"	3/8"
Top Diameter (in)	48.34"	40.47"	24"
Bottom Diameter (in)	58.35"	50.53"	33.68"
Taper (in/ft)			
Grade			
Weight (lbs)	18161	12077	47109
Overall Steel Height (ft)		194	
			8492
			A572-65
			0.188
			32.29"
			42.35"



Designed Appurtenance Loading

Elev	Description	Tx-Line
199	(1) 2 sq ft EPA	
192	(1) 200 sq ft EPA, 7,000 lb Weight	(6) 1 5/8"
182	(1) 150 sq ft EPA, 4,500 lb Weight	(6) 1 5/8"
172	(1) 150 sq ft EPA, 4,500 lb Weight	(6) 1 5/8"
162	(1) 100 sq ft EPA (4500 lbs)	(6) 1 5/8"

Design Criteria - ANSI/TIA-222-H

Wind Speed (No Ice)	110 mph
Wind Speed (Ice)	30 mph
Design Ice Thickness	1.50 in
Risk Category	II
Exposure Category	C
Topographic Factor Procedure	Method 1 (Simplified)
Topographic Category	1
Ground Elevation	575 ft
Seismic Importance Factor, I _e	1.00
0.2-sec Spectral Response, S _s	0.184 g
1-sec Spectral Response, S ₁	0.058 g
Site Class	D (DEFAULT)
Seismic Design Category	B
Basic Seismic Force-Resisting System	Telecommunication Tower (Pole: Steel)

Limit State Load Combination Reactions

Load Combination	Axial (kips)	Shear (kips)	Moment (ft-k)	Deflection (ft)	Sway (deg)
1.2 D + 1.0 W _o	76.37	43.89	7052.91	20.29	11.68
0.9 D + 1.0 W _o	57.49	43.85	6849.25	19.58	11.23
1.2 D + 1.0 D _i + 1.0 W _i	129.76	6.08	1111.87	3.47	2
1.2 D + 1.0 E _v + 1.0 E _h	78.88	1.91	351.54	1.08	0.62
0.9 D - 1.0 E _v + 1.0 E _h	54.78	1.9	337.45	1.03	0.58
1.0 D + 1.0 W _o (Service @ 80 mph)	63.74	11.71	1871.64	5.54	3.14

Base Plate Dimensions

Shape	Diameter	Thickness	Bolt Circle	Bolt Qty	Bolt Diameter
Round	71.25"	2.5"	65.5"	22	2.25"

Anchor Bolt Dimensions

Length	Diameter	Hole Diameter	Weight	Type	Finish
84"	2.25"	2.625"	2664.2	A615-75	Galv

Material List

Display	Value
A	4" - 8"

Notes

- 1) Antenna Feed Lines Run Inside Pole
- 2) All dimensions are above ground level, unless otherwise specified.
- 3) Weights shown are estimates. Final weights may vary.
- 4) Full Height Step Bolts
- 5) This tower design and, if applicable, the foundation design(s) shown on the following page(s) also meet or exceed the requirements of the 2018 International Building Code.
- 6) Tower Rating: 99.6%



Sabre Industries
 7101 Southbridge Drive
 P.O. Box 658
 Sioux City, IA 51102-0658
 Phone (712) 258-6690
 Fax (712) 278-0814

Information contained herein is the sole property of Sabre Communications Corporation, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Communications Corporation.

Job: **24-1398-JDS**
 Customer: **MILESTONE COMMUNICATIONS, INC**
 Site Name: **Stockton Lake, VA**
 Description: **195' Monopole**
 Date: **8/11/2023** By: **DO**

Processed under license at:

Sabre Towers and Poles on: 11 aug 2023 at: 13:08:35

=====

195' Monopole / Stockton Lake, VA

* All pole diameters shown on the following pages are across corners.
See profile drawing for widths across flats.

POLE GEOMETRY

=====

ELEV ft	SECTION NAME	No. SIDE	OUTSIDE DIAM in	THICK -NESS in	RESISTANCES ♦*Pn ♦*Mn kip ft-kip	SPLICE TYPE	...OVERLAP... LENGTH ft	RATIO	w/t
194.0	A	18	24.37	0.250	1400.1 682.2				15.7
147.2	A/B	18	33.29	0.250	1757.7 1176.3	SLIP	4.75	1.72	
142.5	B	18	33.70	0.375	2901.8 1951.9				14.7
99.7	B/C	18	41.84	0.375	3486.8 2924.7	SLIP	6.00	1.73	
93.7	C	18	42.25	0.438	4247.5 3587.3				15.9
53.2	C/D	18	49.96	0.438	4819.4 4828.4	SLIP	7.00	1.69	
46.2	D	18	50.43	0.500	5739.4 5791.1				16.7
0.0			59.25	0.500	6455.4 7675.2				

POLE ASSEMBLY

=====

SECTION NAME	BASE ELEV ft	BOLTS AT BASE OF SECTION	DIAM in	STRENGTH ksi	THREADS IN SHEAR PLANE	CALC BASE ELEV ft
A	142.500	0 A325	0.00	92.0	0	142.500
B	93.750	0 A325	0.00	92.0	0	93.750
C	46.250	0 A325	0.00	92.0	0	46.250
D	0.000	0 A325	0.00	92.0	0	0.000

POLE SECTIONS

=====

SECTION NAME	No. of SIDES	LENGTH ft	OUTSIDE DIAMETER BOT * in	DIAMETER TOP * in	BEND RAD in	MAT- ERIAL ID	FLANGE ID BOT	FLANGE ID TOP	FLANGE WELD ..GROUP ID.. BOT	FLANGE WELD TOP
A	18	51.50	34.20	24.37	0.625	1	0	0	0	0
B	18	53.50	43.00	32.79	0.625	2	0	0	0	0
C	18	53.50	51.31	41.09	0.625	3	0	0	0	0
D	18	53.25	59.25	49.08	0.625	4	0	0	0	0

* - Diameter of circumscribed circle

MATERIAL TYPES

TYPE OF SHAPE	TYPE NO	NO OF ELEM.	ORIENT	HEIGHT	WIDTH	.THICKNESS.		IRREGULARITY .PROJECTION.	
			& deg	in	in	in	in	% OF AREA	ORIENT deg
PL	1	1	0.0	34.20	0.25	0.250	0.250	0.00	0.0
PL	2	1	0.0	43.00	0.38	0.375	0.375	0.00	0.0
PL	3	1	0.0	51.31	0.44	0.438	0.438	0.00	0.0
PL	4	1	0.0	59.25	0.50	0.500	0.500	0.00	0.0

& - with respect to vertical

MATERIAL PROPERTIES

MATERIAL TYPE NO.	ELASTIC MODULUS ksi	UNIT WEIGHT pcf	.. STRENGTH ..		THERMAL COEFFICIENT /deg
			Fu ksi	Fy ksi	
1	29000.0	490.0	80.0	65.0	0.00001170
2	29000.0	490.0	80.0	65.0	0.00001170
3	29000.0	490.0	80.0	65.0	0.00001170
4	29000.0	490.0	80.0	65.0	0.00001170

* Only 5 condition(s) shown in full

LOADING CONDITION A

110 mph wind with no ice. Wind Azimuth: 0° (1.2 D + 1.0 Wo)

LOADS ON POLE

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0928	0.0180	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0134	0.0067	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0000	1.4302	0.0000	0.0000
C	191.000	0.00	0.0	0.0	9.2061	8.4000	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0333	0.0168	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0000	1.3553	0.0000	0.0000
C	181.000	0.00	0.0	0.0	6.8273	5.4000	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0330	0.0168	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0000	1.2804	0.0000	0.0000
C	171.000	0.00	0.0	0.0	6.7465	5.4000	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0325	0.0168	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0000	1.2056	0.0000	0.0000
C	161.000	0.00	0.0	0.0	4.4413	5.4000	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0321	0.0168	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0317	0.0168	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0312	0.0168	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0307	0.0168	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0302	0.0168	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0296	0.0168	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0290	0.0168	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0283	0.0168	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0276	0.0168	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0268	0.0168	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0258	0.0168	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0248	0.0168	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0235	0.0168	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0219	0.0168	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0197	0.0168	0.0000	0.0000
D	194.000	0.00	180.0	0.0	0.0622	0.0818	0.0000	0.0000

D	147.250	0.00	180.0	0.0	0.0736	0.1006	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0770	0.2643	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0770	0.2643	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0788	0.1661	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0788	0.1661	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0830	0.1790	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0830	0.1790	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0867	0.1919	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0867	0.1919	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0889	0.4315	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0889	0.4315	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0893	0.2407	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0893	0.2407	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0913	0.2550	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0913	0.2550	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0924	0.2693	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0924	0.2693	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0925	0.5946	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0925	0.5946	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0896	0.3258	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0817	0.3676	0.0000	0.0000

LOADING CONDITION M

110 mph wind with no ice. Wind Azimuth: 0° (0.9 D + 1.0 Wo)

LOADS ON POLE

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AZI	AT AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0928	0.0135	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0134	0.0050	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0000	1.0727	0.0000	0.0000
C	191.000	0.00	0.0	0.0	9.2061	6.3000	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0333	0.0126	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0000	1.0165	0.0000	0.0000
C	181.000	0.00	0.0	0.0	6.8273	4.0500	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0330	0.0126	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0000	0.9603	0.0000	0.0000
C	171.000	0.00	0.0	0.0	6.7465	4.0500	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0325	0.0126	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0000	0.9042	0.0000	0.0000
C	161.000	0.00	0.0	0.0	4.4413	4.0500	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0321	0.0126	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0317	0.0126	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0312	0.0126	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0307	0.0126	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0302	0.0126	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0296	0.0126	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0290	0.0126	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0283	0.0126	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0276	0.0126	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0268	0.0126	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0258	0.0126	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0248	0.0126	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0235	0.0126	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0219	0.0126	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0197	0.0126	0.0000	0.0000
D	194.000	0.00	180.0	0.0	0.0622	0.0614	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0736	0.0755	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0770	0.1982	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0770	0.1982	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0789	0.1246	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0868	0.1439	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0889	0.3236	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0889	0.3236	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0893	0.1806	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0893	0.1806	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0913	0.1913	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0913	0.1913	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0924	0.2019	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0924	0.2019	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0925	0.4460	0.0000	0.0000

D	46.250	0.00	180.0	0.0	0.0925	0.4460	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0896	0.2443	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0817	0.2757	0.0000	0.0000

LOADING CONDITION Y

30 mph wind with 1.5 ice. wind Azimuth: 0° (1.2 D + 1.0 Di + 1.0 Wi)

LOADS ON POLE

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AZI	LOAD AZI	FORCES		MOMENTS	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0155	0.0898	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0081	0.0187	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0000	1.4302	0.0000	0.0000
C	191.000	0.00	0.0	0.0	1.1747	20.9218	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0199	0.0288	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0000	1.3553	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.8692	13.4068	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0196	0.0288	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0000	1.2804	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.8569	13.3617	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0192	0.0288	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0000	1.2056	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.5627	13.3141	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0189	0.0288	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0185	0.0288	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0181	0.0288	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0177	0.0288	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0173	0.0288	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0168	0.0288	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0163	0.0288	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0158	0.0288	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0152	0.0288	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0146	0.0288	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0139	0.0288	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0131	0.0288	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0121	0.0288	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0110	0.0288	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0095	0.0288	0.0000	0.0000
D	194.000	0.00	180.0	0.0	0.0092	0.1421	0.0000	0.0000
D	178.417	0.00	180.0	0.0	0.0092	0.1421	0.0000	0.0000
D	178.417	0.00	180.0	0.0	0.0099	0.1573	0.0000	0.0000
D	162.833	0.00	180.0	0.0	0.0099	0.1573	0.0000	0.0000
D	162.833	0.00	180.0	0.0	0.0106	0.1725	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0106	0.1725	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0110	0.3397	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0110	0.3397	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0112	0.2438	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0112	0.2438	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0118	0.2615	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0118	0.2615	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0122	0.2789	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0122	0.2789	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0125	0.5216	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0125	0.5216	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0125	0.3321	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0125	0.3321	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0127	0.3499	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0128	0.3672	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0128	0.6945	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0128	0.6945	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0123	0.4269	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0111	0.4624	0.0000	0.0000

LOADING CONDITION AK

Seismic - Azimuth: 0° (1.2 D + 1.0 Ev + 1.0 Eh)

LOADS ON POLE

=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0010	0.0186	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0004	0.0069	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0760	1.4769	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.4464	8.6744	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0008	0.0173	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0647	1.3996	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.2577	5.5764	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0007	0.0173	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0545	1.3222	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.2300	5.5764	0.0000	0.0000
C	168.250	0.00	0.0	0.0	0.1962	4.9138	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0007	0.0173	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0455	1.2449	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.2039	5.5764	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0006	0.0173	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0005	0.0173	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0004	0.0173	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0004	0.0173	0.0000	0.0000
C	120.500	0.00	0.0	0.0	0.2027	9.8960	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0003	0.0173	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0003	0.0173	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0002	0.0173	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0002	0.0173	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0001	0.0173	0.0000	0.0000
C	73.000	0.00	0.0	0.0	0.1058	14.0809	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0001	0.0173	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0001	0.0173	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0000	0.0173	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0000	0.0173	0.0000	0.0000
C	26.620	0.00	0.0	0.0	0.0188	18.7851	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0000	0.0173	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0000	0.0173	0.0000	0.0000
D	194.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000
D	0.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000

LOADING CONDITION AL

Seismic - Azimuth: 0 (0.9 D - 1.0 Ev + 1.0 Eh)

LOADS ON POLE

=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0010	0.0129	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0004	0.0048	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0760	1.0259	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.4464	6.0256	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0008	0.0121	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0647	0.9722	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.2577	3.8736	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0007	0.0121	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0545	0.9185	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.2300	3.8736	0.0000	0.0000
C	168.250	0.00	0.0	0.0	0.1962	3.4134	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0007	0.0121	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0455	0.8647	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.2039	3.8736	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0006	0.0121	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0005	0.0121	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0004	0.0121	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0004	0.0121	0.0000	0.0000
C	120.500	0.00	0.0	0.0	0.2027	6.8742	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0003	0.0121	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0003	0.0121	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0002	0.0121	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0002	0.0121	0.0000	0.0000

C	75.000	0.00	0.0	0.0	0.0001	0.0121	0.0000	0.0000
C	73.000	0.00	0.0	0.0	0.1058	9.7812	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0001	0.0121	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0001	0.0121	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0000	0.0121	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0000	0.0121	0.0000	0.0000
C	26.620	0.00	0.0	0.0	0.0188	13.0490	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0000	0.0121	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0000	0.0121	0.0000	0.0000
D	194.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000
D	0.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000

=====

=====

=====

(USA 222-H) - Monopole Spatial Analysis (c)2017 Guymast Inc.

Tel:(416)736-7453 Fax:(416)736-4372 Web:www.guymast.com

Processed under license at:

Sabre Towers and Poles on: 11 aug 2023 at: 13:08:35

=====

195' Monopole / Stockton Lake, VA

MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

=====

MAST ELEV ft	DEFLECTIONS (ft)			ROTATIONS (deg)		
	HORIZONTAL ALONG	ACROSS	DOWN	TILT ALONG	ACROSS	TWIST
194.0	20.29B	0.07B	2.97B	11.68B	0.03B	-0.01W
178.4	17.25B	0.06B	2.35B	11.53B	0.03B	-0.01W
162.8	14.30B	0.05B	1.78B	10.88B	0.03B	-0.01W
147.2	11.58B	0.05B	1.29B	9.72B	0.03B	0.00W
142.5	10.81B	0.04B	1.16B	9.43B	0.03B	0.00W
128.2	8.64B	0.04B	0.82B	8.42B	0.03B	0.00W
114.0	6.72B	0.03B	0.55B	7.33B	0.03B	0.00W
99.7	5.06B	0.02B	0.36B	6.21B	0.02B	0.00W
93.7	4.43B	0.02B	0.29B	5.80B	0.02B	0.00W
80.2	3.19B	0.01B	0.18B	4.84B	0.02B	0.00W
66.7	2.17B	0.01B	0.10B	3.90B	0.02B	0.00W
53.2	1.36B	0.01B	0.05B	2.99B	0.01B	0.00W
46.2	1.02B	0.00B	0.03B	2.59B	0.01B	0.00W
34.7	0.57B	0.00B	0.01B	1.90B	0.01B	0.00W
23.1	0.25B	0.00B	0.00B	1.25B	0.01B	0.00W
11.6	0.06B	0.00B	0.00B	0.61B	0.00B	0.00W
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

=====

MAST ELEV ft	TOTAL AXIAL kip	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION ft-kip
		ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	

194.0	0.09 Z	0.10 Q	0.00 N	-0.39 W	0.01 N	0.00 N
	39.46 Z	17.16 Q	0.00 N	-167.14 A	0.05 C	-0.07 O
178.4	39.47 AD	17.16 P	-0.01 R	-167.14 A	0.06 C	-0.07 O
	56.61 AD	25.01 P	-0.01 R	-550.88 E	-0.18 O	-0.22 W
162.8	56.62 AA	25.01 H	0.01 L	-550.88 E	-0.18 O	-0.22 O
	73.85 AA	30.59 H	0.01 L	-1084.64 E	-0.44 O	-0.43 W
147.2	73.85 AA	30.79 X	-0.16 C	-1085.02 E	-0.58 K	-0.44 O
	75.49 AA	31.18 X	-0.16 C	-1253.82 C	-0.80 O	-0.48 W
142.5	75.50 Y	31.22 B	0.26 B	-1253.68 D	0.69 U	-0.50 W
	79.00 Y	32.36 B	0.26 B	-1773.98 B	-3.51 B	-0.80 W
128.2	79.00 AA	32.40 O	0.16 B	-1773.94 B	-3.53 B	-0.81 W
	82.78 AA	33.63 O	0.16 B	-2308.38 B	-5.75 B	-1.18 W
114.0	82.78 AA	33.63 O	0.16 B	-2308.33 B	-5.75 B	-1.18 W
	86.78 AA	34.87 O	0.16 B	-2856.71 B	-8.04 B	-1.52 W
99.7	86.78 AA	34.93 B	0.22 B	-2856.49 B	-8.08 B	-1.52 W
	89.94 AA	35.49 B	0.22 B	-3093.03 B	-9.41 B	-1.66 W
93.7	89.94 AA	35.50 B	0.21 B	-3093.10 B	-9.42 B	-1.65 W
	94.45 AA	36.73 B	0.21 B	-3634.95 B	-12.32 B	-1.91 W
80.2	94.45 AA	36.79 B	0.26 B	-3635.00 B	-12.35 B	-1.91 W
	99.26 AA	38.05 B	0.26 B	-4188.98 B	-15.87 B	-2.08 W
66.7	99.26 AA	38.05 B	0.28 B	-4188.95 B	-15.87 B	-2.08 W
	104.22 AA	39.35 B	0.28 B	-4753.22 B	-19.61 B	-2.23 W
53.2	104.22 AA	39.21 B	0.24 B	-4753.17 B	-19.58 B	-2.23 W
	109.08 AA	39.85 B	0.24 B	-5048.92 B	-21.25 B	-2.29 W
46.2	109.08 AA	39.86 B	0.25 B	-5048.89 B	-21.20 B	-2.29 W
	114.13 AA	40.93 B	0.25 B	-5543.33 B	-24.10 B	-2.37 W
34.7	114.13 AA	40.93 B	0.24 B	-5543.33 B	-24.10 B	-2.37 W
	119.24 AA	41.95 B	0.24 B	-6042.89 B	-26.88 B	-2.43 W
23.1	119.24 AA	41.94 B	-0.24 H	-6042.89 B	-26.87 B	-2.43 W
	124.47 AA	42.94 B	-0.24 H	-6546.49 B	-29.53 B	-2.47 W
11.6	124.47 AA	42.93 B	-0.24 H	-6546.49 B	-29.54 B	-2.47 W
	129.76 AA	43.89 B	-0.24 H	-7052.91 B	-32.18 B	-2.49 W

base	129.76 AA	-43.89 B	0.24 H	7052.91 B	32.18 B	2.49 W
reaction	-----					

COMPLIANCE WITH 4.8.2 & 4.5.4

ELEV ft	AXIAL	BENDING	SHEAR + TORSIONAL	TOTAL SATISFIED	D/t(w/t)	MAX ALLOWED
194.00	0.00Z	0.00W	0.00Q	0.00W	YES	15.69A
	0.03Z	0.20A	0.02Q	0.21A	YES	17.76A

178.42	0.03AD	0.20A	0.02P	0.21F	YES	17.76A	45.2
162.83	0.03AD	0.55E	0.03U	0.56E	YES	19.83A	45.2
	0.03AA	0.55E	0.03H	0.56E	YES	19.83A	45.2
147.25	0.04AA	0.92E	0.03X	0.94E	YES	21.89A	45.2
	0.03AA	0.57E	0.02X	0.58E	YES	14.48A	45.2
142.50	0.03AA	0.62C	0.02X	0.64C	YES	14.90A	45.2
	0.03Y	0.64D	0.02B	0.66D	YES	14.66A	45.2
128.25	0.03Y	0.78B	0.02B	0.79B	YES	15.92A	45.2
	0.03AA	0.78B	0.02O	0.79B	YES	15.92A	45.2
114.00	0.02AA	0.89B	0.02O	0.90B	YES	17.18A	45.2
	0.02AA	0.89B	0.02O	0.90B	YES	17.18A	45.2
99.75	0.02AA	0.98B	0.02O	0.99B	YES	18.44A	45.2
	0.02AA	0.81B	0.02B	0.82B	YES	15.76A	45.2
93.75	0.02AA	0.83B	0.02B	0.84B	YES	16.21A	45.2
	0.02AA	0.86B	0.02B	0.87B	YES	15.91A	45.2
80.25	0.02AA	0.91B	0.02B	0.92B	YES	16.93A	45.2
	0.02AA	0.91B	0.02B	0.92B	YES	16.93A	45.2
66.75	0.02AA	0.95B	0.02B	0.96B	YES	17.95A	45.2
	0.02AA	0.95B	0.02B	0.96B	YES	17.95A	45.2
53.25	0.02AA	0.98B	0.02B	1.00B	YES	18.98A	45.2
	0.02AA	0.83B	0.01B	0.84B	YES	16.56A	45.2
46.25	0.02AA	0.85B	0.01B	0.86B	YES	17.03A	45.2
	0.02AA	0.87B	0.01B	0.88B	YES	16.72A	45.2
34.69	0.02AA	0.89B	0.01B	0.90B	YES	17.48A	45.2
	0.02AA	0.89B	0.01B	0.90B	YES	17.48A	45.2
23.12	0.02AA	0.90B	0.01B	0.91B	YES	18.25A	45.2
	0.02AA	0.90B	0.01B	0.91B	YES	18.25A	45.2
11.56	0.02AA	0.91B	0.01B	0.92B	YES	19.02A	45.2
	0.02AA	0.91B	0.01B	0.92B	YES	19.02A	45.2
0.00	0.02AA	0.92B	0.01B	0.93B	YES	19.78A	45.2

MAXIMUM LOADS ONTO FOUNDATION(w.r.t. wind direction)

DOWN	SHEAR.w.r.t.WIND.DIR	MOMENT.w.r.t.WIND.DIR	TORSION
kip	ALONG	ALONG	ft-kip
	ACROSS	ACROSS	
	kip	ft-kip	
129.76	43.89	-7052.91	-2.49
AA	B	B	W
	H		

Processed under license at:

Sabre Towers and Poles

on: 11 aug 2023 at: 13:08:50

195' Monopole / Stockton Lake, VA

 ***** Service Load Condition *****

* Only 1 condition(s) shown in full

LOADING CONDITION A

60 mph wind with no ice. wind Azimuth: 0 (1.0 D + 1.0 Wo)

LOADS ON POLE

LOAD TYPE	ELEV ft	APPLY.. RADIUS	LOAD.. ft	..AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
						HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	198.000	0.00	0.0	0.0	0.0	0.0247	0.0150	0.0000	0.0000
C	192.000	0.00	0.0	0.0	0.0	0.0036	0.0056	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0	0.0000	1.1918	0.0000	0.0000
C	191.000	0.00	0.0	0.0	0.0	2.4507	7.0000	0.0000	0.0000
C	185.000	0.00	0.0	0.0	0.0	0.0089	0.0140	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0	0.0000	1.1294	0.0000	0.0000
C	181.000	0.00	0.0	0.0	0.0	1.8174	4.5000	0.0000	0.0000
C	175.000	0.00	0.0	0.0	0.0	0.0088	0.0140	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0	0.0000	1.0670	0.0000	0.0000
C	171.000	0.00	0.0	0.0	0.0	1.7959	4.5000	0.0000	0.0000
C	165.000	0.00	0.0	0.0	0.0	0.0087	0.0140	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0	0.0000	1.0046	0.0000	0.0000
C	161.000	0.00	0.0	0.0	0.0	1.1823	4.5000	0.0000	0.0000
C	155.000	0.00	0.0	0.0	0.0	0.0086	0.0140	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0	0.0084	0.0140	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0	0.0083	0.0140	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0	0.0082	0.0140	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0	0.0080	0.0140	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0	0.0079	0.0140	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0	0.0077	0.0140	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0	0.0075	0.0140	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0	0.0073	0.0140	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0	0.0071	0.0140	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0	0.0069	0.0140	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0	0.0066	0.0140	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0	0.0063	0.0140	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0	0.0058	0.0140	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0	0.0052	0.0140	0.0000	0.0000
D	194.000	0.00	180.0	0.0	0.0	0.0166	0.0682	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0	0.0196	0.0839	0.0000	0.0000
D	147.250	0.00	180.0	0.0	0.0	0.0205	0.2202	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0	0.0205	0.2202	0.0000	0.0000
D	142.500	0.00	180.0	0.0	0.0	0.0210	0.1384	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0	0.0210	0.1384	0.0000	0.0000
D	128.250	0.00	180.0	0.0	0.0	0.0221	0.1492	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0	0.0221	0.1492	0.0000	0.0000
D	114.000	0.00	180.0	0.0	0.0	0.0231	0.1599	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0	0.0231	0.1599	0.0000	0.0000
D	99.750	0.00	180.0	0.0	0.0	0.0237	0.3596	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0	0.0237	0.3596	0.0000	0.0000
D	93.750	0.00	180.0	0.0	0.0	0.0238	0.2006	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0	0.0238	0.2006	0.0000	0.0000
D	80.250	0.00	180.0	0.0	0.0	0.0243	0.2125	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0	0.0243	0.2125	0.0000	0.0000
D	66.750	0.00	180.0	0.0	0.0	0.0246	0.2244	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0	0.0246	0.2244	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0	0.0246	0.4955	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0	0.0246	0.4955	0.0000	0.0000
D	46.250	0.00	180.0	0.0	0.0	0.0239	0.2715	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0	0.0218	0.3064	0.0000	0.0000

=====

MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

=====

MAST ELEV ft	DEFLECTIONS (ft)			ROTATIONS (deg)		
	HORIZONTAL ALONG	ACROSS	DOWN	TILT ALONG	ACROSS	TWIST
194.0	5.54B	-0.02E	0.22B	3.14B	-0.01E	0.00F
178.4	4.69B	-0.01E	0.18B	3.09B	-0.01E	0.00F
162.8	3.88B	-0.01E	0.13B	2.92B	-0.01E	0.00F
147.2	3.12B	-0.01E	0.10B	2.60B	-0.01E	0.00F
142.5	2.91B	-0.01E	0.09B	2.52B	-0.01E	0.00F
128.2	2.32B	-0.01E	0.06B	2.25B	-0.01E	0.00F
114.0	1.80B	-0.01E	0.04B	1.95B	-0.01E	0.00F
99.7	1.35B	0.00E	0.03B	1.65B	-0.01E	0.00F
93.7	1.18B	0.00E	0.02B	1.54B	-0.01E	0.00F
80.2	0.85B	0.00E	0.01B	1.29B	0.00E	0.00F
66.7	0.58B	0.00E	0.01B	1.04B	0.00E	0.00F
53.2	0.36B	0.00E	0.00B	0.79B	0.00E	0.00F
46.2	0.27B	0.00E	0.00B	0.69B	0.00E	0.00F
34.7	0.15B	0.00E	0.00B	0.51B	0.00E	0.00F
23.1	0.07B	0.00E	0.00B	0.33B	0.00E	0.00F
11.6	0.02B	0.00E	0.00B	0.16B	0.00E	0.00F
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A

=====

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

=====

MAST ELEV ft	TOTAL AXIAL kip	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION ft-kip
		ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	
194.0	0.02 K	0.03 E	0.00 K	-0.10 B	0.00 K	0.00 K
178.4	14.96 K	4.57 E	0.00 K	-44.93 D	0.02 E	0.01 E
162.8	21.74 K	6.67 H	0.00 L	-148.01 B	0.06 E	0.02 E
147.2	28.52 K	8.16 B	0.00 K	-290.67 B	0.13 E	0.04 E
142.5	29.58 K	8.31 E	-0.02 C	-335.82 D	0.15 E	0.05 E
128.2	31.57 K	8.62 B	-0.04 E	-474.36 B	0.76 E	0.05 E
114.0	33.73 K	8.97 B	0.03 L	-616.72 B	1.16 E	-0.06 F

99.7	36.02 K	9.31 B	0.03 I	-762.46 B	1.57 E	-0.07 F
	36.02 K	9.27 B	-0.03 E	-762.45 B	1.57 E	-0.07 F
93.7	38.19 K	9.42 B	-0.03 E	-824.71 B	1.81 E	-0.07 F
	38.19 K	9.44 B	-0.06 E	-824.80 B	1.80 E	-0.07 F
80.2	40.91 K	9.77 B	-0.06 E	-967.55 B	2.64 E	-0.09 F
	40.91 I	9.78 B	-0.05 E	-967.54 B	2.64 E	-0.09 F
66.7	43.80 I	10.11 B	-0.05 E	-1113.34 B	3.40 E	-0.10 F
	43.80 I	10.11 B	-0.05 E	-1113.34 B	3.40 E	-0.10 F
53.2	46.85 I	10.46 B	-0.05 E	-1261.89 B	4.16 E	-0.11 F
	46.85 I	10.45 B	-0.06 E	-1261.88 B	4.16 E	-0.11 F
46.2	50.32 I	10.62 B	-0.06 E	-1340.01 B	4.58 E	-0.12 F
	50.32 I	10.62 B	-0.06 E	-1340.03 B	4.57 E	-0.12 F
34.7	53.54 I	10.90 B	-0.06 E	-1470.68 B	5.28 E	-0.12 F
	53.54 I	10.91 B	-0.06 E	-1470.67 B	5.28 E	-0.12 F
23.1	56.84 I	11.18 B	-0.06 E	-1603.01 B	5.99 E	-0.13 F
	56.84 I	11.18 B	-0.06 E	-1603.02 B	5.99 E	-0.13 F
11.6	60.25 I	11.45 B	-0.06 E	-1736.75 B	6.65 E	-0.13 F
	60.25 I	11.45 B	-0.05 E	-1736.75 B	6.65 E	-0.13 F
	63.74 I	11.71 B	-0.05 E	-1871.64 B	7.29 E	-0.13 F
base reaction	63.74 I	-11.71 B	0.05 E	1871.64 B	-7.29 E	0.13 F

COMPLIANCE WITH 4.8.2 & 4.5.4

ELEV ft	AXIAL	BENDING	SHEAR + TORSIONAL	TOTAL SATISFIED	D/t(w/t)	MAX ALLOWED
194.00	0.00K	0.00B	0.00E	0.00B	YES	15.69A
	0.01K	0.05D	0.01E	0.06D	YES	17.76A
178.42	0.01K	0.05D	0.01H	0.06D	YES	17.76A
	0.01K	0.15B	0.01H	0.16B	YES	19.83A
162.83	0.01K	0.15B	0.01B	0.16B	YES	19.83A
	0.02K	0.25B	0.01B	0.26B	YES	21.89A
147.25	0.01K	0.15B	0.01E	0.16B	YES	14.48A
	0.01K	0.17D	0.01E	0.18D	YES	14.90A
142.50	0.01K	0.17D	0.01B	0.18D	YES	14.66A
	0.01K	0.21B	0.01B	0.22B	YES	15.92A
128.25	0.01K	0.21B	0.01B	0.22B	YES	15.92A
	0.01K	0.24B	0.01B	0.25B	YES	17.18A
114.00	0.01K	0.24B	0.01B	0.25B	YES	17.18A
	0.01K	0.26B	0.01B	0.27B	YES	18.44A
99.75	0.01K	0.22B	0.00B	0.23B	YES	15.76A

93.75	0.01K	0.22B	0.00B	0.23B	YES	16.21A	45.2
	0.01K	0.23B	0.00B	0.24B	YES	15.91A	45.2
80.25	0.01K	0.24B	0.00B	0.25B	YES	16.93A	45.2
	0.01I	0.24B	0.00B	0.25B	YES	16.93A	45.2
66.75	0.01I	0.25B	0.00B	0.26B	YES	17.95A	45.2
	0.01I	0.25B	0.00B	0.26B	YES	17.95A	45.2
53.25	0.01I	0.26B	0.00B	0.27B	YES	18.98A	45.2
	0.01I	0.22B	0.00B	0.23B	YES	16.56A	45.2
46.25	0.01I	0.22B	0.00B	0.23B	YES	17.03A	45.2
	0.01I	0.23B	0.00B	0.24B	YES	16.72A	45.2
34.69	0.01I	0.24B	0.00B	0.24B	YES	17.48A	45.2
	0.01I	0.24B	0.00B	0.24B	YES	17.48A	45.2
23.12	0.01I	0.24B	0.00B	0.25B	YES	18.25A	45.2
	0.01I	0.24B	0.00B	0.25B	YES	18.25A	45.2
11.56	0.01I	0.24B	0.00B	0.25B	YES	19.02A	45.2
	0.01I	0.24B	0.00B	0.25B	YES	19.02A	45.2
0.00	0.01I	0.24B	0.00B	0.25B	YES	19.78A	45.2

MAXIMUM LOADS ONTO FOUNDATION(w.r.t. wind direction)

DOWN kip	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION ft-kip
	ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	
63.74 I	11.71 B	-0.05 E	-1871.64 B	7.29 E	-0.13 F

Seismic Load Effects
Equivalent Lateral Force Procedure
ANSI/AIA-222-H

Parameters	Description	h _i (ft.)	w _i (kips)	W _i (kips)	w _{h,rs}	Vertical Distribution of Seismic Forces			0.9 D - 1.0 E _v (kips)
						F _s or E _b (kips)	E _v (kips)	1.2 D + 1.0 E _v (kips)	
Risk Category	Antenna Load	198.00	0.0150	0.0150	588.0600	0.0010	0.0006	0.0186	0.0129
R	Step Bolts/Safety Climb Load	192.00	0.0056	0.0000	206.4384	0.0004	0.0002	0.0069	0.0048
S _s	Antenna Load	191.00	7.0900	7.0900	255,367.0000	0.4464	0.2744	8.6744	6.0256
S ₁	Line Deadload	191.00	1.1918	0.0000	43,478.0558	0.0760	0.0467	1.4769	1.0259
Site Class	Step Bolts/Safety Climb Load	185.00	0.0140	0.0000	479.1500	0.0008	0.0005	0.0173	0.0121
T _L (sec)	Antenna Load	181.00	4.5000	4.5000	147,424.5000	0.2577	0.1764	5.5764	3.8736
F _a	Line Deadload	181.00	1.1294	0.0000	37,000.2734	0.0647	0.0443	1.3996	0.9722
F _v	Step Bolts/Safety Climb Load	175.00	0.0140	0.0000	428.7500	0.0007	0.0005	0.0173	0.0121
S _{MS}	Antenna Load	171.00	4.5000	4.5000	131,584.5000	0.2300	0.1764	5.5764	3.8736
S _{M1}	Line Deadload	171.00	1.0670	0.0000	31,200.1470	0.0545	0.0418	1.3222	0.9185
S _{DS}	Structure - Section 1	168.25	3.9653	0.0000	112,249.9602	0.1962	0.1554	4.9138	3.4134
S _{D1}	Step Bolts/Safety Climb Load	165.00	0.0140	0.0000	381.1500	0.0007	0.0005	0.0173	0.0121
T _s	Antenna Load	161.00	4.5000	4.5000	116,644.5000	0.2039	0.1764	5.5764	3.8736
l _e	Line Deadload	161.00	1.0046	0.0000	26,040.2366	0.0455	0.0394	1.2449	0.8647
l _{bot} (in ⁴)	Step Bolts/Safety Climb Load	155.00	0.0140	0.0000	336.3500	0.0006	0.0005	0.0173	0.0121
Ω	Step Bolts/Safety Climb Load	145.00	0.0140	0.0000	294.3500	0.0005	0.0005	0.0173	0.0121
C _s	Step Bolts/Safety Climb Load	135.00	0.0140	0.0000	255.1500	0.0004	0.0005	0.0173	0.0121
E (ksi)	Step Bolts/Safety Climb Load	125.00	0.0140	0.0000	218.7500	0.0004	0.0005	0.0173	0.0121
l _{top} (in ⁴)	Structure - Section 2	120.50	7.9658	0.0000	115,955.8124	0.2027	0.3130	9.8960	6.8742
l _{bot} (in ⁴)	Step Bolts/Safety Climb Load	115.00	0.0140	0.0000	185.1500	0.0003	0.0005	0.0173	0.0121
l _{avg} (in ⁴)	Step Bolts/Safety Climb Load	105.00	0.0140	0.0000	154.3500	0.0003	0.0005	0.0173	0.0121
g (in/s ²)	Step Bolts/Safety Climb Load	95.00	0.0140	0.0000	126.3500	0.0002	0.0005	0.0173	0.0121
W _t (kips)	Step Bolts/Safety Climb Load	85.00	0.0140	0.0000	101.1500	0.0002	0.0005	0.0173	0.0121
W _u (kips)	Step Bolts/Safety Climb Load	75.00	0.0140	0.0000	78.7500	0.0001	0.0005	0.0173	0.0121
W _L (kips)	Structure - Section 3	73.00	11.3629	0.0000	60,552.8941	0.1058	0.4454	14.0809	9.7812
L _p (in)	Step Bolts/Safety Climb Load	65.00	0.0140	0.0000	59.1500	0.0001	0.0005	0.0173	0.0121
f ₁ (Hertz)	Step Bolts/Safety Climb Load	55.00	0.0140	0.0000	42.3500	0.0001	0.0005	0.0173	0.0121
T (sec)	Step Bolts/Safety Climb Load	45.00	0.0140	0.0000	28.3500	0.0000	0.0005	0.0173	0.0121
k _e	Step Bolts/Safety Climb Load	35.00	0.0140	0.0000	17.1500	0.0000	0.0005	0.0173	0.0121
V _s (kips)	Structure - Section 4	26.62	15.1591	0.0000	10,742.1081	0.0188	0.5942	18.7851	13.0490
Seismic Design Category	Step Bolts/Safety Climb Load	25.00	0.0140	0.0000	8.7500	0.0000	0.0005	0.0173	0.0121
B	Step Bolts/Safety Climb Load	15.00	0.0140	0.0000	3.1500	0.0000	0.0005	0.0173	0.0121
	Σ		63.64	20.5150	1,092,232.79	1.91	2.49	78.86	54.78

Round Base Plate and Anchor Rods, per ANSI/TIA 222-H

Pole Data

Diameter:	58.350	in (flat to flat)
Thickness:	0.5	in
Yield (Fy):	65	ksi
# of Sides:	18	"0" IF Round
Strength (Fu):	80	ksi

Reactions

Moment, Mu:	7052.91	ft-kips
Axial, Pu:	76.37	kips
Shear, Vu:	43.89	kips

Anchor Rod Data

Quantity:	22	
Diameter:	2.25	in
Rod Material:	A615	
Strength (Fu):	100	ksi
Yield (Fy):	75	ksi
BC Diam. (in):	65.5	BC Override:

Plate Data

Diameter (in):	71.25	Dia. Override:
Thickness:	2.5	in
Yield (Fy):	50	ksi
Eff Width/Rod:	8.42	in
Drain Hole:	2.625	in. diameter
Drain Location:	27	in. center of pole to center of drain hole
Center Hole:	46	in. diameter

Anchor Rod Results

(per 4.9.9)

Maximum Put:	232.33 Kips
$\Phi_t \cdot R_{nt}$:	243.75 Kips
Vu:	2.00 Kips
$\Phi_v \cdot R_{nv}$:	149.10 Kips
Tension Interaction Ratio:	0.91
Maximum Puc:	238.41 Kips
$\Phi_c \cdot R_{nc}$:	268.39 Kips
Vu:	2.00 Kips
$\Phi_c \cdot R_{ncv}$:	120.77 Kips
Compression Interaction Ratio:	0.89
Maximum Interaction Ratio:	90.9% Pass

Base Plate Results

Base Plate (Mu/Z):	40.5 ksi
Allowable $\Phi \cdot F_y$:	45.0 ksi (per AISC)
Base Plate Interaction Ratio:	89.9% Pass

Exhibit “8”

August 15, 2023

Matt Penning
Milestone Communications, Inc.
12110 Sunset Hills Road #600
Reston, VA 20190

RE: Proposed 195' Monopole for Stockton Lake, VA (Sabre #24-1398-JDS)

Dear Mr. Penning,

As shown in our Structural Design Report #24-1398-JDS dated August 11, 2023, the above referenced Sabre monopole has been designed for an Ultimate Wind Speed of 110 mph with no ice and 30 mph with 1.5" ice, Risk Category II, Exposure Category C, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.* This would effectively result in a fall radius equal to 180 ft at ground level.

Sincerely,

Keith J. Tindall, P.E., S.E.
Vice President, Telecom Engineering

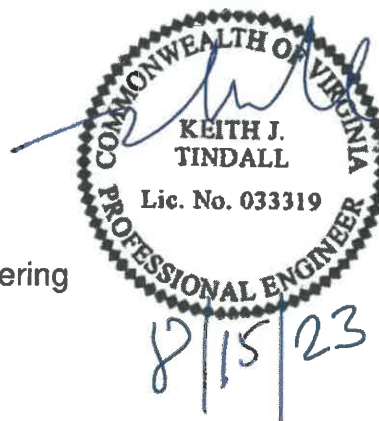


Exhibit “9”



August 15, 2023

Robert Love
Director
Prince Edward County Planning & Zoning
111 N. South Street, 3rd Floor,
Farmville, VA 23901
(434) 414-3037

Re: Milestone Towers- Site Name: Stockton Lake- Site Location: 4451 Five Forks Road, Pamplin, VA 23958 (TMS # 046-A-50)- Telecommunication Facility- Collocation Policy Letter

Mr. Love,

Per Section 3-100.13- Towers (C)(10), Milestone Tower Limited Partnership-IV (Milestone Towers) ensures that the proposed telecommunications facility is designed to accommodate at least three (3) wireless broadband carriers. Milestone Towers, any future successors and assigns, shall allow any communication company to collocate on the tower at the prevailing market rate for this facility.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew Penning', is written over a light blue horizontal line.

Matthew Penning
Director of Development
Milestone Towers
matt@milestonetowers.com
703.865.4697 (office)

Exhibit “10”



August 15, 2023

Robert Love
Director
Prince Edward County Planning & Zoning
111 N. South Street, 3rd Floor,
Farmville, VA 23901
(434) 414-3037

Re: Milestone Towers- Site Name: Stockton Lake- Site Location: 4451 Five Forks Road, Pamplin, VA 23958 (TMS # 046-A-50)- Telecommunication Facility- Tower Removal Letter

Dear Mr. Love,

Please accept the signed statement below as confirming Section 3-100.13- Towers (C)(16) of the Prince Edward County Code of Ordinances:

Milestone Tower Limited Partnership-IV (Milestone Towers), its successors and assigns, provide this statement declaring itself, its successors and assigns of being financially responsible to assure the proposed communications tower, which is no longer used for communications purposes for a continuous period of ninety (90) days, will be dismantled and removed within ninety (90) days of receipt of notice from the Building Official or County Administrator notifying the owner of such removal requirement.

Please contact me should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew Penning', written in a cursive style.

Matthew Penning
Director of Development
Milestone Towers
matt@milestonetowers.com
703.865.4697 (office)

Exhibit “11”



August 15, 2023

Robert Love
Director
Prince Edward County Planning & Zoning
111 N. South Street, 3rd Floor,
Farmville, VA 23901
(434) 414-3037

Re: Milestone Towers- Site Name: Stockton Lake- Site Location: 4451 Five Forks Road, Pamplin, VA 23958 (TMS # 046-A-50)- Indemnification Letter

Mr. Love,

Except for expenses or liabilities arising from the negligence of the County of Prince Edward, Milestone Tower Limited Partnership-IV (Milestone Towers) hereby expressly agrees to indemnify and hold the County of Prince Edward harmless against expenses and liabilities arising out of the construction and operation of the proposed tower as follows: Milestone Towers expressly agrees to the extent that there is a causal relationship between its negligent, reckless, or intentionally wrongful action or inaction, or the negligent, reckless or intentionally wrongful action or inaction of any of its employees or any person, firm, or corporation directly or indirectly employed by Milestone Towers, and any damage, liability, injury loss or expense (whether in connection with bodily injury or death or property damage or loss) that is suffered by the County of Prince Edward and its employees or any member of the public, to indemnify and save the County of Prince Edward and its employees harmless against any and all liabilities, penalties, demands, claims, lawsuits, losses, damages, costs, and expenses arising out of the performance of the construction or operation of the proposed tower.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew Penning', with a stylized flourish at the end.

Matthew Penning
Director of Development
Milestone Towers
matt@milestonetowers.com
703.865.4697 (office)

Exhibit “12”

U.S. TITLE SOLUTIONS
File No. UST75300 Reference No. 5000918898

REPORT OF TITLE
SCHEDULE - II

(LEGAL DESCRIPTION)

Parcel No. Two: ALL THOSE TWO CERTAIN TRACTS, pieces or parcels of land with the buildings and improvements thereon, situate, lying and being in Buffalo Magisterial District, Prince Edward County, Virginia, one said parcel containing 50.00 acres, more or less, adjoining the lands now or formerly owned by S. T. Harris, A. W. Covington and J. H. Crute, et als; and the other said parcel containing 6.00 acres, more or less, adjoining lands now or formerly owned by A. W. Covington and D. T. Hancock, et als; LESS HOWEVER that certain off conveyance made to the Commonwealth of Virginia for highway purposes with said Deeds recorded in the above mentioned Clerk's Office in Deed Book 127 at page 59 and Deed Book 164 at page 164; and being the same property conveyed to the above grantor by deed of Alma LeFerne Gaunce Tutwiler, dated June 22, 1976 and recorded in the above mentioned Clerk's Office in Deed Book 330 at page 884. Reference to said Deed is hereby expressly given for a more accurate and complete description of said property.

**Please note: the above description was taken from the vesting deed in Book 354, Page 211. Said description contains a reference to an outsale in Deed Book 127, Page 59. However, said Deed is not an outsale of the subject parcel.

Exhibit “13”

This Deed was prepared without the
benefit of a title examination BOOK 0354 PAGE 213

TAX MAP NO: 46--A--45
TAX MAP NO: 46--A--50

JAMES ALTON TURNS

TO:

DEED OF GIFT

ROBERT ALTON GAUNCE

THIS DEED, Made this 28th day of March, 2001, by and between JAMES ALTON TURNS, GRANTOR, party of the first part, and ROBERT ALTON GAUNCE, GRANTEE, party of the second part. Pursuant to Virginia Code Section 58.1-811 D, 1950 (as amended), no recordation taxes shall be required for the recordation of this Deed of Gift because no monetary consideration has passed between the parties

W I T N E S S E T H :

The grantor does for and in consideration of the natural love and affection of the grantor for the grantee, hereby grant, give and convey in fee simple with Special Warranty unto the party of the second part, the following described property, to-wit: wit:

Parcel No. One: ALL THAT CERTAIN TRACT, piece or parcel of land with the buildings and improvements thereon, containing 10.00 acres, situate, lying and being in Buffalo Magisterial District, Prince Edward County, Virginia, located on the southwest side of Virginia Secondary Highway No. 658 and more clearly shown on that certain Plat made by Meredith Helm, C.L.S., dated April 2, 1975 and recorded in the Clerk's Office of the Circuit Court of Prince Edward County, Virginia in Deed Book 196, at page 50. Reference to said Plat is hereby expressly given for a more accurate and complete description of said property; and being the same property conveyed to the above grantor, also known as J. Alton Turns, by deed dated July 16, 1975 and recorded in the above mentioned Clerk's Office in Deed Book 196, at page 45.

Parcel No. Two: ALL THOSE TWO CERTAIN TRACTS, pieces or

JAMES L. WHITLOCK
ATTORNEY AT LAW
100 EAST THIRD STREET
FARMVILLE, VIRGINIA 22431

parcels of land with the buildings and improvements thereon, situate, lying and being in Buffalo Magisterial District, Prince Edward County, Virginia, one said parcel containing 50.00 acres, more or less, adjoining the lands now or formerly owned by S. T. Harris, A. W. Covington and J. H. Crute, et als; and the other said parcel containing 6.00 acres, more or less, adjoining lands now or formerly owned by A. W. Covington and D. T. Hancock, et als; LESS HOWEVER that certain off conveyance made to the Commonwealth of Virginia for highway purposes with said Deeds recorded in the above mentioned Clerk's Office in Deed Book 127 at page 59 and Deed Book 164 at page 164; and being the same property conveyed to the above grantor by deed of Alma LeFerne Gaunce Tutwiler, dated June 22, 1976 and recorded in the above mentioned Clerk's Office in Deed Book 330 at page 884. Reference to said Deed is hereby expressly given for a more accurate and complete description of said property.

This conveyance is expressly made subject to all valid reservations, restrictions, conditions and easements of record in the chain of title, if any, constituting constructive notice.

WITNESS the following signature and seal:

[Signature]

James Alton Turns (SEAL)

STATE OF VIRGINIA,
COUNTY OF PRINCE EDWARD, to-wit:

The foregoing instrument was acknowledged before me this 5th day of April, 2001, by JAMES ALTON TURNS, in the County and State aforesaid. *Jatmville VA*

MY Commission expires: 12-31-02

[Signature]

Notary Public

JAMES L. WHITLOCK
ATTORNEY AT LAW
100 EAST THIRD STREET
FAIRFAX, VIRGINIA 22031

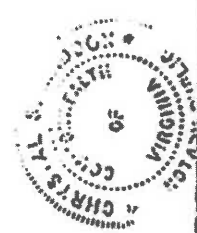
VIRGINIA: CLERK'S OFFICE OF THE CIRCUIT COURT OF PRINCE EDWARD COUNTY

The foregoing instrument with acknowledgement was admitted to record on *April 9th* 2001 at *10:50 AM* in O.B. *354* Page(s) *211*

Teste: Frank L. Overton Clerk
By: Raymond Williams Dep. Clerk

St. R. Tax (038)	
Co. R. Tax (213)	
Transfer (212)	100
Clerk (301)	1200
Lib. (145)	100
Tech T.F. (106)	300
Grantor Tax (222)	
Total \$	1700

Grantor's Tax: \$
Examined and Mailed/Delivered To: *James Whitlock*
Date: *4-9-01*



206

C. H. Turner

BOOK 164 PAGE 164

Turns
To: Agreement
Commonwealth of Virginia
Tax Exempt

THIS AGREEMENT, made this 25 day of MAY, 1967, by and between
C. H. TURNER, widower
of Prince Edward County, Virginia, party of the first part (even though more than one),
and the Commonwealth of Virginia, party of the second part,

WITNESSETH: THAT, WHEREAS, it is proposed by the Commonwealth to widen or improve
State Highway Route 626, Project 0626-073-120, C-501, from 0.057 Mi. W. Bell Creek
To 0.066 Mi. E. Bell Creek, in Prince Edward County, Virginia; and

WHEREAS, in the improvement it is necessary that the said party of the second part extend
the road slopes and/or other construction on to the lands of the party of the first part from Sta. 10+48
to Sta. 10+55 ^{of drainage traverse} as shown on Sheet 3 of the plans for the above said Project on file in the
office of the Department of Highways, Richmond, Virginia;

NOW, THEREFORE, For and in consideration of \$1.00 in hand paid to the said party of the
first part, receipt of which is hereby acknowledged, the party of the first part doth grant and convey
to the party of the second part, with general warranty, the right and easement to use the additional
area from Sta. 10+48 to Sta. 10+55 ^{of drainage traverse} and as shown outlined in green on a photo copy of said
Sheet 3, for the proper execution and maintenance of the work, free from encroachments,
which photo copy is hereto attached as a part hereof and is to be recorded simultaneously herewith
in the State Highway Plat Book.

Drainage Easement and any and all damages - donated.

The party of the first part covenants and agrees for himself, his heirs, successors and
assigns, that the consideration hereinabove mentioned and paid to him shall be in lieu of any and
all claims to compensation for said easement, and for damages, if any, which may result by reason
of the use to which the grantee will put the easement to be conveyed.

The party of the first part covenants that he is seized of the land in fee simple out of which
this easement is conveyed; that he has the right to convey the said easement to the party of the
second part; that he has done no act to encumber the said land conveyed in easement; that the
party of the second part shall have quiet possession of the easement, free from all encumbrances;
and that he will execute such further assurances of the said easement as may be required.

WITNESS the following signature(s) and seal(s):

W. H. Tuins (SEAL)

_____ (SEAL)

STATE OF VIRGINIA,

COUNTY OF Prince Edward, To-wit:

I, Ray E. White, a Notary Public, in and for the State of Virginia,

do certify that G. H. TUINS

and _____, whose names are signed to the foregoing

and annexed writing, bearing date on the 25 day of MAY, 1967

have acknowledged the same before me in the County aforesaid.

My Commission expires 10/24/70

Given under my hand this 25 day of MAY, 1967

Ray E. White
Notary Public

Plat recorded in State Highway
Plat Book #2 at page 118.

Virginia:
In the Clerk's Office of the Circuit Court of Prince Edward County,
July 30, 1967.
This deed was this day presented in said office and, with certifi-
cate of acknowledgment annexed, admitted to record at 9 o'clock
A.M., and indexed.

Teste:

Wm. C. Womack, Clerk

Examined and mailed to
Mr. Alvah S. Mattox
State Right of Way Engineer
Virginia Department of Highways
1221 E. Broad Street
Richmond, Va., 23219

Exhibit “14”

THIS INSTRUMENT PREPARED BY & TO BE RETURNED TO:

J. Ladd Johnson
Edinger Associates PLLC
1725 I St. NW, Suite 300
Washington DC, 20006

Tax Parcel No.: 046 A 50
Consideration: \$5.00

MEMORANDUM OF LEASE

THIS MEMORANDUM OF LEASE is entered into as of the 13th day of July, 2023, by and between Milestone Tower Limited Partnership-IV, a Delaware limited partnership ("Lessee"), and ROBERT ALTON GAUNCE ("Lessor").

RECITALS:

A. Lessor and Lessee are parties to a Site Lease Agreement, dated July 13th, 2023 (the "Lease"), pursuant to which Lessor has leased to Lessee certain real property in Prince Edward County, Virginia described in Exhibit "A" attached hereto.

B. Lessor and Lessee wish to enter into this Memorandum of Lease.

NOW, THEREFORE, in consideration of the premises, the sum of Five Dollars (\$5.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Lessor and Lessee hereby agree as follows:

1. The name of the lessor under the Lease is ROBERT ALTON GAUNCE.
2. The name of the lessee under the Lease is Milestone Tower Limited Partnership-IV.
3. The address of Lessor, as stated in the Lease, is 1421 Commerce Road, Verona, VA 24482. The address of Lessee, as stated in the Lease, is Milestone Communications, 12110 Sunset Hills Road, Suite 600, Reston, VA 20190.
4. The leased premises, as described in the Lease, consists of a portion of the property owned by the Lessor located at 4451 Five Forks Road, Pamplin, VA 23958, and known as Parcel ID 046 A 50 and as more particularly described on the attached Exhibit "A".
5. The term of the Lease is ten (10) years. The date of commencement of the term of the Lease was July 13th, 2023, and the date of termination of the term of the Lease is ten (10) years thereafter, subject to any applicable renewal period.

6. Provided Lessee is not in default under the Lease beyond any applicable cure period, Lessee may renew the Lease for five (5) five-year renewal periods, to commence at the end of the initial term of the Lease. Accordingly, the latest date to which the term of the Lease may be extended is July 13, 2058.

(Signatures continue on the following 2 pages)

IN WITNESS WHEREOF, the undersigned LESSOR has duly executed this Memorandum of Lease under seal as of the first date stated above.

ATTEST:

Robert Alton Gaunce
ROBERT ALTON GAUNCE,
an individual

STATE OF VIRGINIA AT LARGE
COUNTY OF NELSON

TO WIT:

I hereby certify that on this 1st day of July, 2023, before me, a Notary Public for the state and county aforesaid, personally appeared ROBERT ALTON GAUNCE known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he executed the foregoing instrument, for the purposes therein set forth.

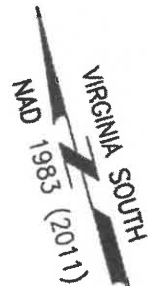
[Signature]
Notary Public



Commission Expires: 3/31/25
Registration #: 182488

**Exhibit A to
Memorandum of Lease**

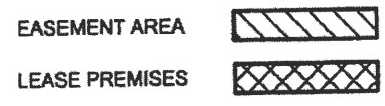
(Legal Description)



OWNER
 ROBERT ALTON GAUNCE
 D.B.330 P.884
 T.M. NO. 46-A-50
 BUFFALO DISTRICT
 PRINCE EDWARD COUNTY, VA

STATE RTE. NO. 626
 PIN OAK ROAD

STATE RTE. NO. 658
 FIVE FORKS ROAD



KEY PLAN
 NOT TO SCALE

STATE RTE. NO. 626
 PIN OAK ROAD

STATE RTE. NO. 658
 FIVE FORKS ROAD
 30 ft. Prescriptive R/W

N:3611946.21
 E:11459731.43

10,000 S.F.
 0.23 AC.

4,654 S.F.
 0.11 AC.

STATE RTE. NO. 658
 FIVE FORKS ROAD
 30 ft. Prescriptive R/W

OWNER
 ROBERT ALTON GAUNCE
 D.B.330 P.884
 T.M. NO. 46-A-50
 BUFFALO DISTRICT
 PRINCE EDWARD COUNTY, VA



PROPERTY PLAN



NOTES:
 1. PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. THIS IS NOT A BOUNDARY SURVEY.
 2. PROJECT IS UNDER THE JURISDICTION OF PRINCE EDWARD COUNTY, VA.
 3. SURVEY WAS PERFORMED ON 4/27/23 USING A SOKIA GRX3 RECEIVER WITH TOPCON NETWORK TO ESTABLISH CONTROL. DATA WAS COLLECTED WITH SOKIA ROBOT.

SURVEYOR OF RECORD:
DICKERSON SURVEYING LLC
 500 Court Street P.O. Box 112
 Appomattox, Virginia 24522
 434-352-8560
 Michael Ray Goin
 Land Surveyor

ENGINEER OF RECORD:
BAMMAN CONSULTING, LLC
 14489 ST ANDREWS LN
 ASHLAND, VA 23005
 PH: 703.328.8574

PROJECT:
STOCKTON LAKE

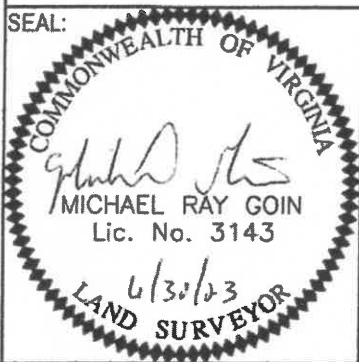
SITE INFORMATION:
 4451 FIVE FORKS ROAD
 PAMPLIN, VA 23958

SHEET NO:
1 OF 3

20' WIDE INGRESS/EGRESS & UTILITY/FIBER EASEMENT DESCRIPTION
 BEGINNING AT A POINT IN THE CENTERLINE INTERSECTION OF
 STATE ROUTE NO. 658, FIVE FORKS ROAD (30' PRESCRIPTIVE EASEMENT)
 AND STATE ROUTE NO. 626, PIN OAK ROAD, MARKED WITH A MAG NAIL.
 SAID POINT OF
 BEGINNING HAVING A VA SOUTH STATE PLANE GRID COORDINATE OF
 N:3612082.47, E:11459357.34 NAD 83(2011)(US SURVEY FEET).
 THENCE FROM THE BEGINNING POINT
 S46°46'32"E 400.16'
 TO THE BEGINNING OF THE LEASE PREMESIS AT A POINT ON
 THE NORTHEASTERN EDGE OF THE PAVEMENT WITH
 VA SOUTH STATE PLANE GRID COORDINATE OF
 N:3611808.42, E:11459648.93 NAD 83(2011)(US SURVEY FEET);
 THENCE, N41°12'48"W 11.88' TO A POINT ON EDGE OF PAVEMENT;
 THENCE, N41°53'30"W 8.12' TO A POINT ON EDGE OF PAVEMENT;
 THENCE, N49°02'57"E 132.81' TO A POINT;
 THENCE, N40°57'03"W 30.00' TO A POINT;
 THENCE, N49°02'57"E 20.00' TO A POINT
 ON PROPOSED LEASE PREMISE;
 THENCE, WITH THE LEASE PREMISE
 S40°57'03"E 100.00' TO A POINT;
 THENCE, LEAVING LEASE PREMISE
 S49°02'57"W 20.00' TO A POINT;
 THENCE, N40°57'03"W 50.00' TO A POINT;
 THENCE, S49°02'57"W 132.62' TO THE BEGINNING.


LINE TABLE		
LINE	BEARING	LENGTH
L1	N41°12'48"W	11.88'
L2	N41°53'30"W	8.12'
L3	N49°02'57"E	132.81'
L4	N40°57'03"W	30.00'
L5	N49°02'57"E	20.00'
L6	S40°57'03"E	100.00'
L7	S49°02'57"W	20.00'
L8	N40°57'03"W	50.00'
L9	S49°02'57"W	132.62'

THE 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT AREA
 BEING 4654 SQ. FT. AND LIES UPON T.M. NO. 46-A-50



- NOTES:**
- PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. THIS IS NOT A BOUNDARY SURVEY.
 - PROJECT IS UNDER THE JURISDICTION OF PRINCE EDWARD COUNTY, VA.
 - SURVEY WAS PERFORMED ON 4/27/23 USING A SOKIA GRX3 RECEIVER WITH TOPCON NETWORK TO ESTABLISH CONTROL. DATA WAS COLLECTED WITH SOKIA ROBOT.

SURVEYOR OF RECORD:
DICKERSON SURVEYING LLC
 500 Court Street P.O. Box 112
 Appomattox, Virginia 24522
 434-352-8560
 Michael Ray Goin
 Land Surveyor

ENGINEER OF RECORD:

BAMMAN CONSULTING, LLC
 14489 ST ANDREWS LN
 ASHLAND, VA 23005
 PH: 703.328.8574

PROJECT:
STOCKTON LAKE

SITE INFORMATION:
 4451 FIVE FORKS ROAD
 PAMPLIN, VA 23958

SHEET NO:
2 OF 3

100' X 100' LEASE PREMISES DESCRIPTION

BEGINNING AT A POINT ON THE
 SOUTHWESTERN CORNER OF THE
 LEASE PREMISE AND THE MOST NORTHERN POINT OF
 20' WIDE INGRESS/EGRESS AND UTILITY/FIBER EASEMENT
 HAVING A COORDINATE OF
 N:3611946.21, E:11459731.43 NAD 83(2011)(US SURVEY FOOT)
 THENCE, N49°02'57"E 100.00' TO A POINT;
 THENCE, S40°57'03"E 100.00' TO A POINT;
 THENCE, S49°02'57"W 100.00' TO A POINT WITH EASEMENT;
 THENCE WITH SAID VARIABLE EASEMENT
 N40°57'03"W 100.00' TO POINT OF BEGINNING.

LINE TABLE		
LINE	BEARING	LENGTH
L10	S49°02'57"W	100.00'
L11	N40°57'03"W	100.00'
L12	N49°02'57"E	100.00'
L13	S40°57'03"E	100.00'


THE LEASE PREMISES ARE BEING 10,000 SQ. FT.
 AND LIES UPON T.M. NO. 46-A-50



NOTES:

1. PROPERTY LINES SHOWN BASED ON RECORDED DEEDS AND PLATS. THIS IS NOT A BOUNDARY SURVEY.
2. PROJECT IS UNDER THE JURISDICTION OF PRINCE EDWARD COUNTY, VA.
3. SURVEY WAS PERFORMED ON 4/27/23 USING A SOKIA GRX3 RECEIVER WITH TOPCON NETWORK TO ESTABLISH CONTROL. DATA WAS COLLECTED WITH SOKIA ROBOT.

SURVEYOR OF RECORD:
 DICKERSON SURVEYING LLC
 500 Court Street P.O. Box 112
 Appomattox, Virginia 24522
 434-352-8560
 Michael Ray Goin
 Land Surveyor

ENGINEER OF RECORD:

 BAMMAN CONSULTING, LLC
 14489 ST ANDREWS LN
 ASHLAND, VA 23005
 PH: 703.328.8574

PROJECT:
 STOCKTON LAKE

SITE INFORMATION:
 4451 FIVE FORKS ROAD
 PAMPLIN, VA 23958

SHEET NO:
 3 OF 3



Please publish the following public hearing notice in **THE FARMVILLE HERALD** on **Wednesday, November 8, 2023** and **Wednesday, November 15, 2023**.



NOTICE OF PUBLIC HEARING

The Prince Edward County Planning Commission will hold PUBLIC HEARINGS on Tuesday, November 21, 2023 commencing at 7:00 p.m. in the Board of Supervisors Room, Prince Edward County Courthouse, 111 N. South Street, 3rd Floor, Farmville, Virginia, to receive citizen input prior to considering the following:

1. A request by Paladin Medical Transport, Inc. to rezone Tax Map Parcel 039-A-17C, located at the end of Bush River Drive (State Route 630), from A2, Agricultural Residential to C1, General Commercial to allow for offices that provide case management and day support services.
2. A request by Johnathan Yeats for Milestone Tower Limited Partnership-IV d/b/a Milestone Towers for a Special Use Permit to construct a 199' communications tower on land denoted as Tax Map Parcel 046-A-50, located on the east side of Five Forks Road (State Route 658), 0.10 mile from its intersection with Pin Oak Road (State Route 626).

Citizen input for Public Hearings will be received through: (1) in-person participation; (2) remote participation by calling 1-844-890-7777, Access Code # 390313; or (3) by written comments mailed to: Planning Commission, P.O. Box 382, Farmville, VA 23901. Please limit word count to no more than 500 words. Comments must be received by 2:00 p.m. the day of the meeting.; via email to info@co.prince-edward.va.us; or via facsimile at 434-392-6683. Based on the number of speakers, the Chair will determine the time allotted to each. Citizens may also view the monthly Planning Commission meeting live (no public input) at the County's YouTube Channel by using the link on the County website under Meetings & Public Notices.

Additional information regarding the proposed rezoning and special use permit is available for public review on the County's web site at www.co.prince-edward.va.us or in the Prince Edward County Administrator's Office, 111 N. South Street, 3rd Floor, Farmville, VA. It is the County's intent to comply with the Americans with Disabilities Act. Should you have questions or require special accommodations, please contact the County Administrator's Office at 434-392-8837.

###

Prince Edward County

199' Communications Tower

Applicant: Milestone Tower Limited Partnership DBA Milestone Towers

Tax Map:

046-A-50

Schedule B

List of adjoining Property owners and mailing addresses for the property for a cellular tower.

Parcel ID	Owner	Address	Note
046-A-52	WESLEY A WILSON	7410 SAXBY ROAD RICHMOND, VA 23231	
046-A-47H	MARCUS L DUNGEE	246 MITCHELL ROAD PAMPLIN, VA 23958	
046-A-47G	MAGGIE LIGON	216 LINWOOD AVENUE PATTERSON, NJ 07502-1660	
046-A-54A	ROMONITA JERE MITCHELL	200 MITCHELL ROAD PAMPLIN, VA 23958	
046-A-47D	IRENE M LEGIN C/O JANICE HENRY	110 MITCHELL ROAD PAMPLIN, VA 23958	
046-A-49A	IRENE J MITCHELL	86 MITCHELL ROAD PAMPLIN, VA 23958	
046-A-47C	NAOMI & JAMES M CAREY	38 MITCHELL ROAD PAMPLIN, VA 23958	
046-A-46	ADELE FORD EPPS	701 AVENUE C APT 1A BROOKLYN, NY 11218	
046-A-44	LISA M BARGER ET AL	5052 HORSESHOE ROAD APPOMATTOX. VA 24522	
046-A-45	HAMPDEN A SEAY	4466 FIVE FORKS ROAD PAMPLIN, VA 23958	

PLANNING COMMISSION

John Prengaman
Chairman
Llew W. Gilliam, Jr.
Board Representative
Brad Fuller
Clifford Jack Leatherwood
Whitfield M. Paige
John "Jack" W. Peery, Jr.
Teresa Sandlin
Rhett L. Weiss
Henry Womack



COUNTY OF PRINCE EDWARD, VIRGINIA

**Director of Planning and
Community Development**

Robert Love
Post Office Box 382
111 N. South Street, 3rd Floor
Farmville, VA 23901
Office: (434) 414-3037
Fax: (434) 392-6683
rlove@co.prince-edward.va.us
www.co.prince-edward.va.us

November 3, 2023

To: Property Owners

From: Robert Love, Director of Planning and Community Development

Subject: Special Use Permit Request – Milestone Towers

The Prince Edward County Planning Commission will hold a public hearing on Tuesday, November 21, 2023 at 7:00 p.m. to receive citizen input on a request by Johnathan Yeats for Milestone Tower Limited Partnership-IV d/b/a Milestone Towers for a Special Use Permit to construct a 199' communications tower on land denoted as Tax Map Parcel 046-A-50, located on the east side of Five Forks Road (State Route 658), 0.10 mile from its intersection with Pin Oak Road (State Route 626).

You are receiving this notice because you own land in the vicinity of the property requested to be approved for a special use permit. Following the hearing the Prince Edward County Planning Commission may vote to recommend approval or denial of the request.

Instructions of how to listen or participate in the meeting and public hearing are contained on the reverse side of this letter. If you have any questions or comments, please do not hesitate to contact me at: 434-414-3037 or by email at: rlove@co.prince-edward.va.us

Respectfully,

Robert Love

Director of Planning and Community Development

MILESTONE TOWERS SUP POTENTIAL CONDITIONS

SITE PLAN

1. Development activities on the site shall be limited to those as specified in the Special Use Permit Application and Site Plan. The final locations of incidental facilities may be adjusted provided no such adjustment violates any buffers, setbacks, or other statutory requirement. The concepts reflected in the filed special use permit dated 08/25/2023 are hereby made part of these development conditions.
2. Any proposed expansion of the operation, change of activities or additional facilities or activities shall be submitted to the Prince Edward County Planning and Community Development office for review prior to implementation. Any changes may be subject to Permit amendment procedures, including Public Hearings.
3. All landscaping shall be mulched and maintained to the reasonable satisfaction of the Prince Edward County Planning and Community Development Director. Any vegetation found to be of poor condition shall be replaced and/or improved at the reasonable direction of the Planning and Community Development Director or his designee.

ENVIRONMENTAL

4. All pollution control measures, erosion and sediment control measures, storm water control facilities, and all construction activities shall comply with the requirements of the appropriate federal, state, and local regulations and ordinances.
5. Any development activities of structural or of a land disturbing nature not specifically addressed by these Conditions shall be in conformance with applicable provisions of federal, state, and local statutes and regulations.

TRANSPORTATION

6. All entrance permits must be approved by the Virginia Department of Transportation. Development activities shall comply with all requirements of VDOT.

GENERAL

7. The tower shall be inspected every five years and certified as safe by a private firm contracted by the applicant. A copy of the inspection report shall be submitted to the Prince Edward County Planning and Community Development Office.
8. This Permit is non-transferable, except and unless written notice from the Permittee regarding the transfer, and a signed document from the proposed new Permittee is received by the Planning and Community Development Office which states that the new Permittee agrees to comply with all terms and Conditions imposed with the original Permit Issuance. If the proposed new Permittee desires to amend the original Permit Conditions, amendments must be addressed by the Prince Edward County Planning Commission and Board of Supervisors through the Special Use Permit process.
9. Failure of Permittee to full conform to all terms and conditions may result in revocation of this Special Use Permit if said failure or failures are not corrected or addressed to the satisfaction, not to be unreasonably withheld, of the County within thirty (30) days of written notice from the County.